

LOCATION MAP
NOT TO SCALE

FINAL SITE PLANS

ALTA VISTA AT ST. JOSEPH'S PARK

DWG. No.	TITLE
2744-03	COVER SHEET
2744-04	SITE PLAN
2744-05	CONSOLIDATION PLAT (FUTURE SUBMISSION)
2744-06	EXISTING CONDITIONS / DEMOLITION PLAN
2744-07	UTILITY PLAN
2774-08	GRADING PLAN
2274-09	CONSTRUCTION EROSION CONTROL PLAN
2774-10	LANDSCAPE PLAN
2774-11	LIGHTING PLAN
2744-12	DETAIL SHEET (SHEET 1 OF 5)
2744-13	DETAIL SHEET (SHEET 2 OF 5)
2744-14	DETAIL SHEET (SHEET 3 OF 5)
2744-15	DETAIL SHEET (SHEET 4 OF 5)
2744-16	DETAIL SHEET (SHEET 5 OF 5)
2744-17	SIDEWALK DETOUR PLAN

ALTA VISTA AT ST. JOSEPH'S PARK

(317, 325 Andrews Street & 101-113 Franklin Street & 106 Pleasant Street)

CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE

PREPARED FOR:
ALTA VISTA HOUSING LLC
954 CLIFFORD AVE.
ROCHESTER, NY 14621

SCALE: 1"=100'

DRAWING NUMBER: 2744_03
DATED: DECEMBER 07, 2021

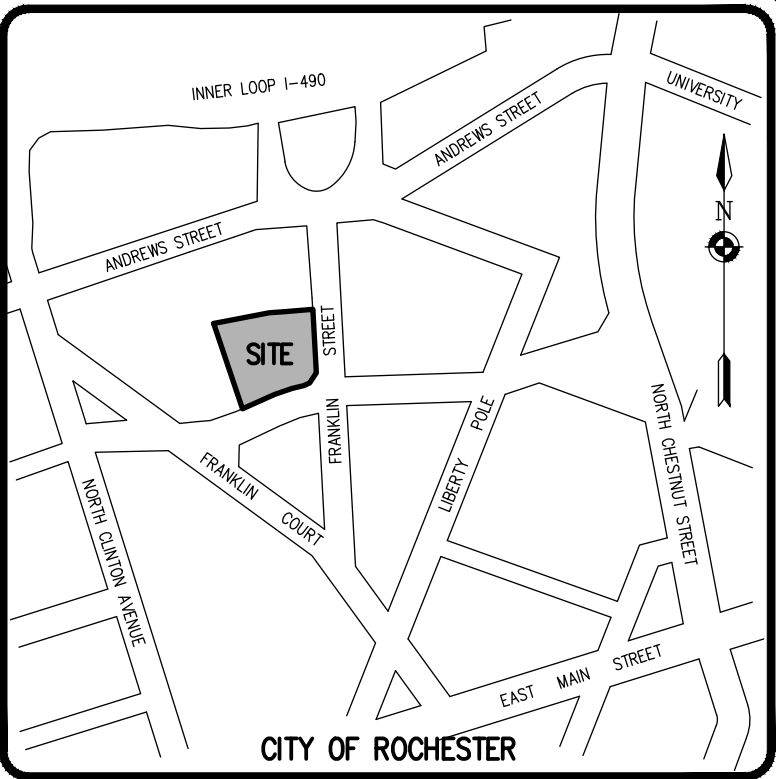
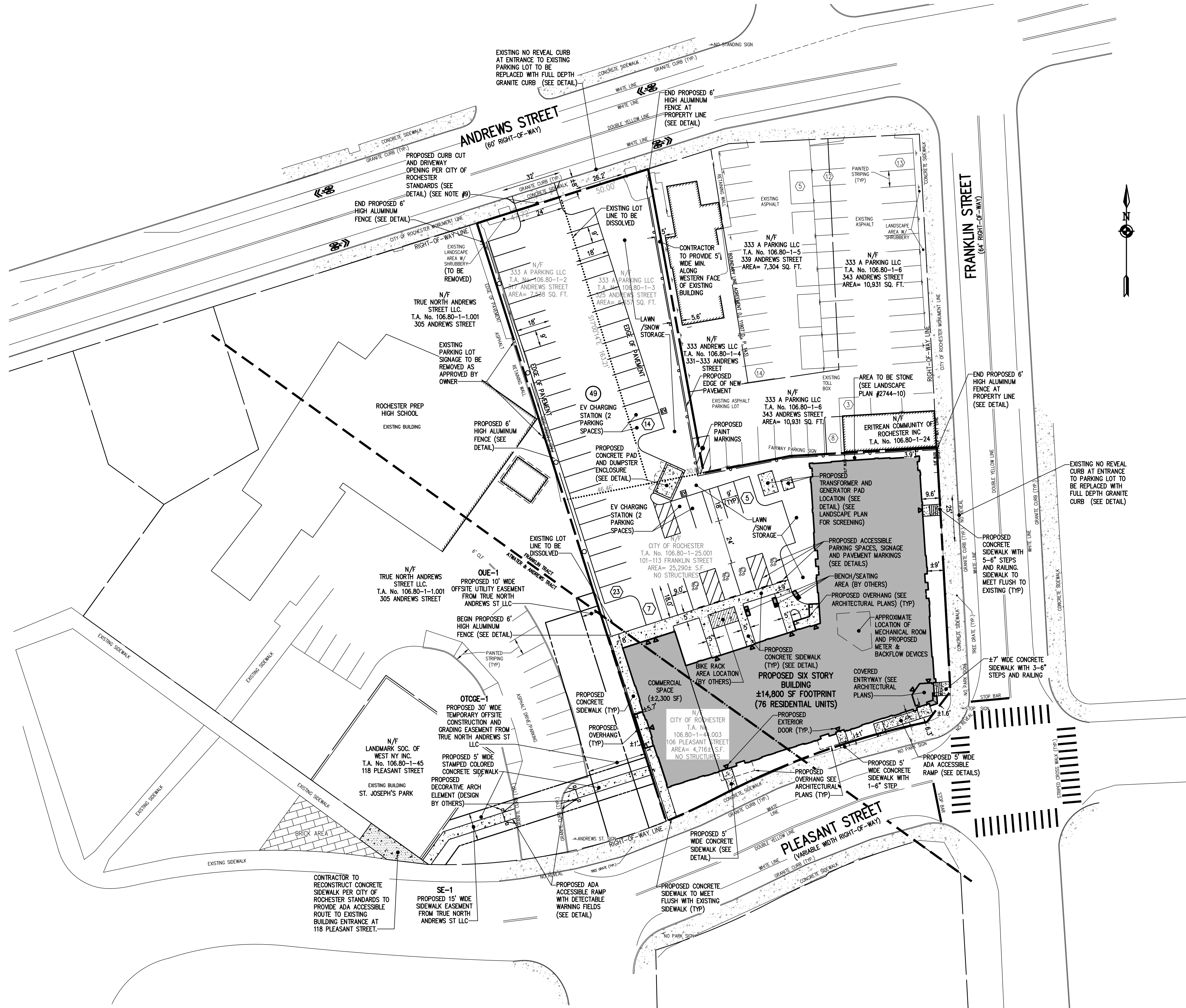
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ASSOCIATES

ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

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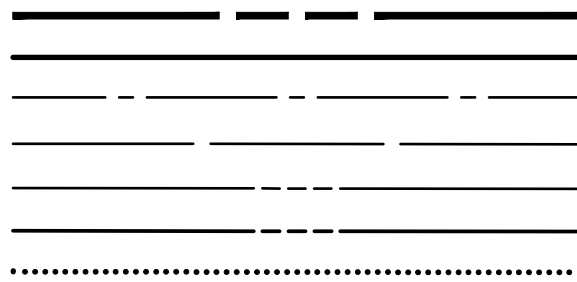
SITE NOTES:

- EXISTING ZONING: OC - (CENTRAL CITY DISTRICT)
- TOTAL LOT AREA : $\pm 44,201$ S.F. (± 1.01 ACRES)
- EXISTING PARCELS:

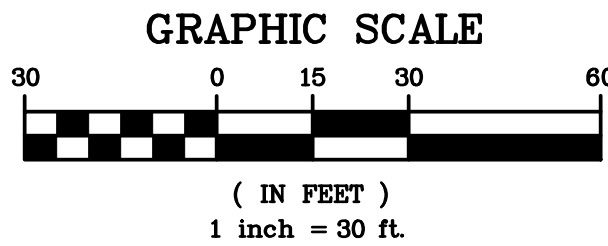
T.A. No.	LOT AREA	ADDRESS
106.80-1-2	$\pm 7,530$ SF	317 ANDREWS ST.
106.80-1-3	$\pm 6,857$ SF	325 ANDREWS ST.
106.80-1-25.001	$\pm 25,290$ SF	101-103 FRANKLIN ST.
106.80-1-44.003	$\pm 4,716$ SF	106 PLEASANT ST.
- EXISTING PARCELS TO BE ADMINISTRATIVELY RE-SUBDIVIDED INTO ONE (1) LOT
- PROPOSED USE: MULTI-FAMILY RESIDENTIAL (76 UNITS)
- LOT DIMENSIONS ARE AS FOLLOWS:

	CC DISTRICT	PROPOSED
MIN. LOT AREA	N/A	± 1.01 ACRES
MIN. LOT WIDTH	45'	$\pm 77'$
SETBACKS		
FRONT YARD	WITHIN 2' OF AVERAGE SETBACK OF THREE ADJACENT BUILDINGS MAXIMUM 15'	$\pm 1.6'$
SIDE YARD	N/A	$\pm 4'$
REAR YARD	N/A	N/A
MAX. BUILDING HEIGHT	6 STORIES	6 STORIES
MAX. BLDG. COVERAGE	N/A	$\pm 33\%$
MAX. LOT COVERAGE	N/A	$\pm 76\%$
PARKING	NOT REQUIRED	49 SPACES (4 ADA SPACES)
- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER AND THE APPROPRIATE MONROE COUNTY AND NEW YORK STATE AGENCIES, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS. FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE MONROE COUNTY SURVEY OFFICE.
- THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW NO. 6 OF 1971 REGARDING LIABILITY INCURRED THROUGH DISTURBANCES OR DESTRUCTION OF GEODETIC SURVEY MONUMENTS.
- ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY IS TO BE CONSTRUCTED SUCH THAT THE OVERALL AREA IS PEDESTRIAN FRIENDLY, FULLY ACCESSIBLE FOR PERSONS WITH DISABILITIES, AND FULLY COMPLIANT WITH THE PROPOSED GUIDELINES FOR PEDESTRIAN FACILITIES IN THE PUBLIC RIGHT-OF-WAY (PROWAG)
- NEW DRIVEWAY OPENINGS ARE TO BE CONSTRUCTED PER THE CITY'S TRANSITION STYLE DRIVEWAY OPENING, USING BOTH TRANSITION AND HEADER CURBS (CITY DETAIL R608-5). THE MAIN SIDEWALK THOROUGHFARE IS TO BE MAINTAINED CONTINUOUS, TRUE TO LINE AND GRADE ACROSS ALL DRIVEWAY OPENINGS.
- SEE DEMOLITION AND UTILITY PLANS FOR EXISTING PAVEMENT AND SIDEWALK REPLACEMENT LIMITS FOR UTILITY INSTALLATIONS.
- ANY PROJECT SIGNAGE IS TO BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL.

LEGEND



BOUNDARY LINE
PROPOSED LOT LINE
CENTERLINE
ADJOINER LINE
EXISTING EASEMENT LINE
PROPOSED EASEMENT LINE
PROPOSED RESUBDIVISION LINE
PROPERTY MARKER FOUND
CONCRETE HIGHWAY MONUMENT FOUND
CONCRETE HIGHWAY MONUMENT FOUND

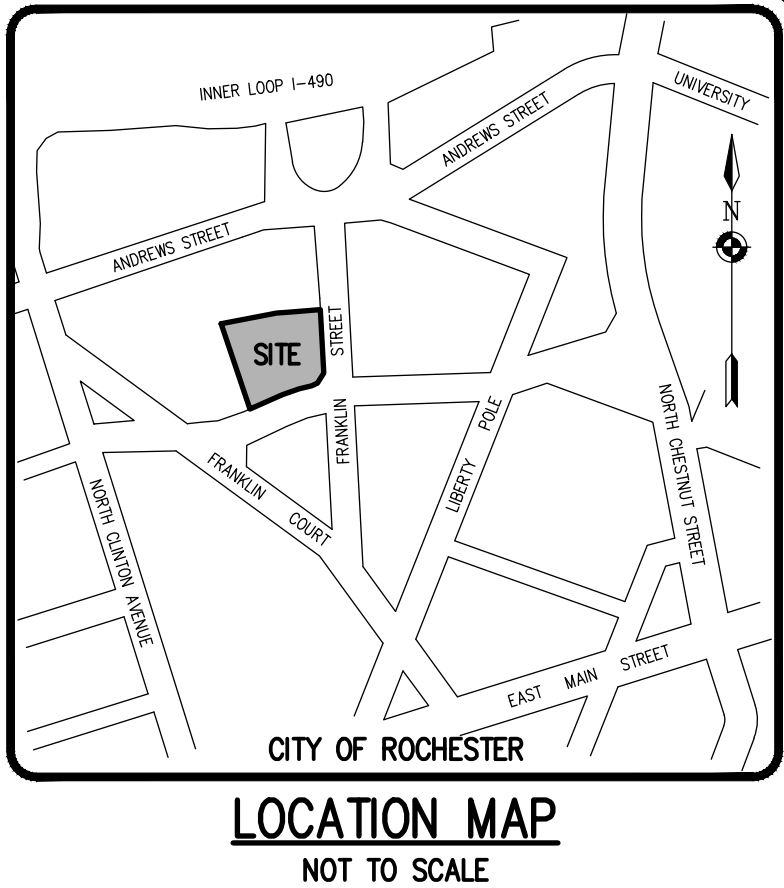
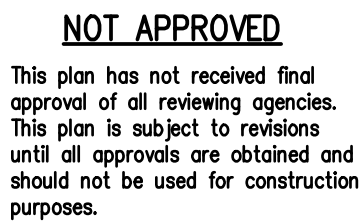
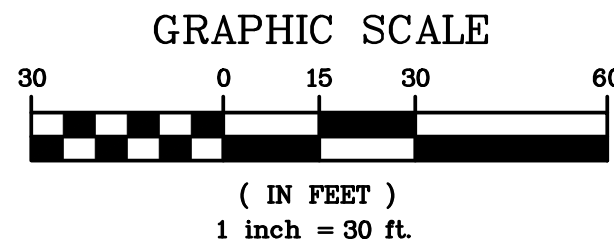


REVISIONS	DATE	BY

Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way. If an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation 'Altered by' followed by his signature and the date of such alteration, and a specific description of the alteration."

NOT APPROVED

This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.



1. BUILDINGS SHOWN ON THIS PLAN ARE GRAPHICAL REPRESENTATIONS ONLY. NO RESTRICTION IS INTENDED AS TO SIZE OR LOCATION OTHER THAN APPLICABLE ZONING REQUIREMENTS.
2. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER, THE APPROPRIATE AGENCIES (I.E., ROCHESTER PURE WATERS DISTRICT, CITY OF ROCHESTER WATER BUREAU, AND THE MONROE COUNTY HEALTH DEPARTMENT) UNLESS OTHERWISE NOTED.
3. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION. FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE MONROE COUNTY GEODETIC SURVEY OFFICE.
4. THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW NO. 6 OF 1971 REGARDING LIABILITY INCURRED THROUGH DISTURBANCES OR DESTRUCTION OF GEODETIC SURVEY MONUMENTS.
5. EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM FIELD LOCATIONS AND/OR AVAILABLE UTILITY COMPANY RECORD PLANS. EXISTING UTILITIES WHETHER FUNCTIONAL OR ABANDONED WITHIN THE PROJECT AREA MAY NOT BE SHOWN ON THE DRAWING. THE CONTRACTOR SHALL CALL THE DIG SAFELY NY HOTLINE AT (800)962-7992 FOR STAKE-OUT OF EXISTING UTILITIES.
6. THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET EXISTING CONDITIONS.
7. THE OWNER AND THE CONTRACTOR SHALL HAVE COMPLETE KNOWLEDGE OF THE CURRENT BLASTING POLICY FOR THE CITY OF ROCHESTER, AND THEY WILL CONFORM TO THIS POLICY AT ALL TIMES.
8. THE SITE CONTRACTOR AND DEVELOPER SHALL BE RESPONSIBLE FOR IMPLEMENTING EROSION CONTROL MEASURES FOR SITE CONSTRUCTION. THE MEASURES ARE TO REMAIN IN PLACE UNTIL SITE CONSTRUCTION IS COMPLETE AND THE LAWN IS ESTABLISHED (SEE §2744-09).
9. ALL REQUIRED IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY ARE TO BE DONE TO THE CITY OF ROCHESTER'S STANDARD CONSTRUCTION SPECIFICATIONS AND DETAILS AS APPROVED BY THE CITY ENGINEER.
10. ALL WORK IN THE PUBLIC RIGHT-OF-WAY REQUIRES A SEPARATE PERMIT FROM THE DEPARTMENT OF ENVIRONMENTAL SERVICES-PERMIT OFFICE, 565-428-6848.
11. THE CONTRACTOR SHALL CONTROL DUST ON SITE AS DIRECTED BY THE CITY OF ROCHESTER.
12. FILL MATERIAL PLACED IN THE BUILDING AND PAVEMENT AREAS SHALL BE SELECT MATERIAL AND COMPACTED TO 95% MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST (ASTM D-1557) OR AS DIRECTED BY A GEOTECH. THE CONTRACTOR SHALL SUPPLY THE ENGINEER AND THE OWNER WITH COMPACTION TEST RESULTS PRIOR TO PLACING THE STONE SUBBASE.
13. CONTRACTOR SHALL INSTALL STONE SUBBASE AND THE ASPHALT CONCRETE BINDER COURSE, PRIOR TO PLACING THE BINDER COURSE, THE PARKING LOT/DRIVEWAY SHALL BE REVIEWED BY THE ENGINEER AND THE OWNER.
14. RECYCLED MATERIALS OR RECYCLED PORTLAND CEMENT CONCRETE AGGREGATE (RCA) AND BRICK, RECLAIMED ASPHALT PAVEMENT (RAP), AND CORIAN ARE UNACCEPTABLE FOR USE AS BACKFILL AND SUBBASE COURSE MATERIALS WITHIN THE PUBLIC RIGHT-OF-WAY WITHOUT WRITTEN APPROVAL OF THE CITY ENGINEER.

7			
6			
5			
4			
3			
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1			
REVISIONS		DATE	BY

BME ASSOCIATES
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PROJECT	ALTA VISTA AT ST. JOSEPH'S PARK
LOCATION	CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE
CLIENT	ALTA VISTA HOUSING LLC 854 CLIFFORD AVE. ROCHESTER, NY 14621
DRAWING TITLE	FINAL GRADING PLAN

PROJECT MANAGER	
J.L. SWEDROCK	
PROJECT ENGINEER	
RR. SPURR	
DRAWN BY	
V.J. SCHLAGETER	
SCALE	DATE ISSUED
1" = 30'	DECEMBER 07, 2021
PROJECT NO.	

CONSTRUCTION EROSION CONTROL NOTES:

1. THE CONSTRUCTION ACTIVITIES FOR THIS PROJECT REQUIRE THE PREPARATION OF AN EROSION AND SEDIMENT CONTROL PLAN ONLY. THE PROJECT PLANS CONSIST OF THE GRADING PLAN, THE CONSTRUCTION EROSION CONTROL PLAN AND DETAIL SHEETS, AND THE CITY OF ROCHESTER DESIGN AND CONSTRUCTION SPECIFICATIONS REGARDING STORMWATER CONTROL.
2. THE OWNER IS RESPONSIBLE FOR IMPLEMENTING THE REQUIRED CONSTRUCTION EROSION CONTROL PLAN. THE OWNER'S CONTRACTOR, SUB-CONTRACTOR AND ALL OTHERS ASSOCIATED WITH THE IMPLEMENTATION OF THE PLAN SHALL BE FAMILIAR WITH THE PLAN AND THE CONDITIONS OF THE CITY OF ROCHESTER FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
3. THE OWNER'S CONTRACTOR/REPRESENTATIVE SHALL IDENTIFY AT LEAST ONE INDIVIDUAL TO BE TRAINED FROM THEIR COMPANY THAT WILL BE RESPONSIBLE FOR IMPLEMENTATION OF THE CONSTRUCTION EROSION CONTROL PLAN. THE OWNER/OPERATOR SHALL ENSURE THAT AT LEAST ONE OF THE TRAINED INDIVIDUALS IS ON SITE ON A DAILY BASIS WHEN SOIL DISTURBANCE ACTIVITIES ARE BEING PERFORMED.
4. FOR DISTURBANCES LESS THAN 5 ACRES, IN AREAS WHERE SOIL DISTURBANCE ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED, THE APPLICATION OF SOIL STABILIZATION MEASURES MUST BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN 14 DAYS FROM THE DATE THE CURRENT SOIL DISTURBANCE ACTIVITY CEASED. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY GROUND COVER, THE DISTURBED AREAS SHALL BE MULCHED WITH STRAW OR EQUIVALENT MATERIAL.
5. THE OWNER'S CONTRACTOR SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, CLEANING, REPAIR AND REPLACEMENT OF EROSION CONTROL MEASURES DURING SITE CONSTRUCTION.
6. ALL DISTURBED AREAS TO BE RECLAIMED WITH A MINIMUM OF 6" TOPSOIL.
7. TEMPORARY SEEDING OF DISTURBED AREAS SHALL BE PROVIDED AS FOLLOWS:

THE SURFACE TWO INCHES OF SOIL SHOULD BE LOOSENEED BY DISKING, RAKING, OR BACK-BLADING WITH A BULLDOZER. IMMEDIATELY FERTILIZE WITH 300 LBS PER ACRE (OR 7 LBS. PER 1000 SQ. FT.) OF 10-10-10 FERTILIZER. IMMEDIATELY SEED WITH THE FOLLOWING MIX:

	LBS./ACRE	LBS./1000 SQ. FT.
ANNUAL RYEGRASS	40	1
PERENNIAL RYEGRASS	40	1
OATS	40	1
WHITE CLOVER (+ INOCULANT)	4	0.1

SEED SHOULD HAVE A GERMINATION RATE OF AT LEAST 85 PERCENT AND MINIMAL INERT MATERIAL.

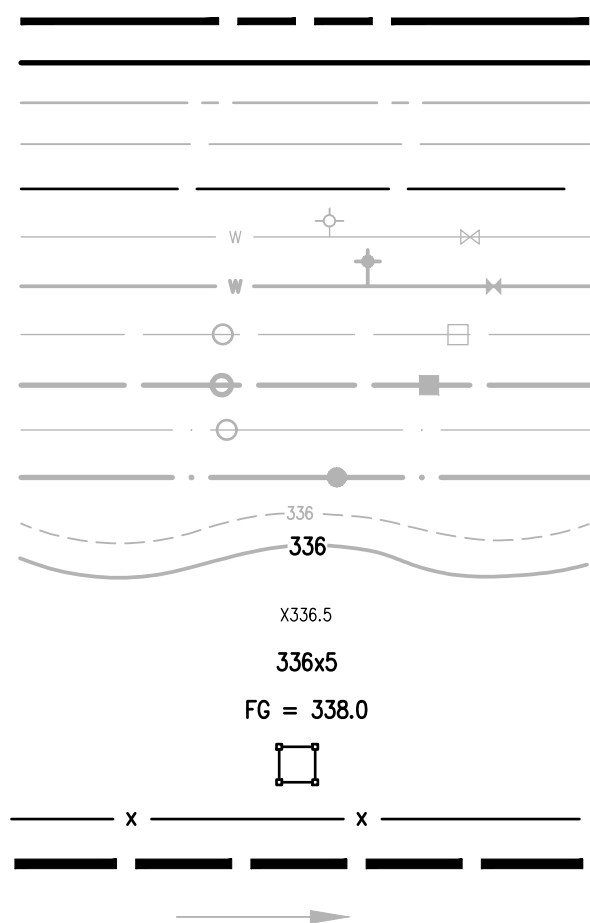
8. DISTURBED AREAS SHALL BE STABILIZED USING PERMANENT LAWN SEEDING MIX UPON COMPLETION OF GRADING AND CONSTRUCTION:

	LBS./ACRE	% BY PURITY	% GERM
PERENNIAL RYE GRASS	35	85	85
RED FESCUE	35	97	80
KENTUCKY BLUEGRASS	30	85	80

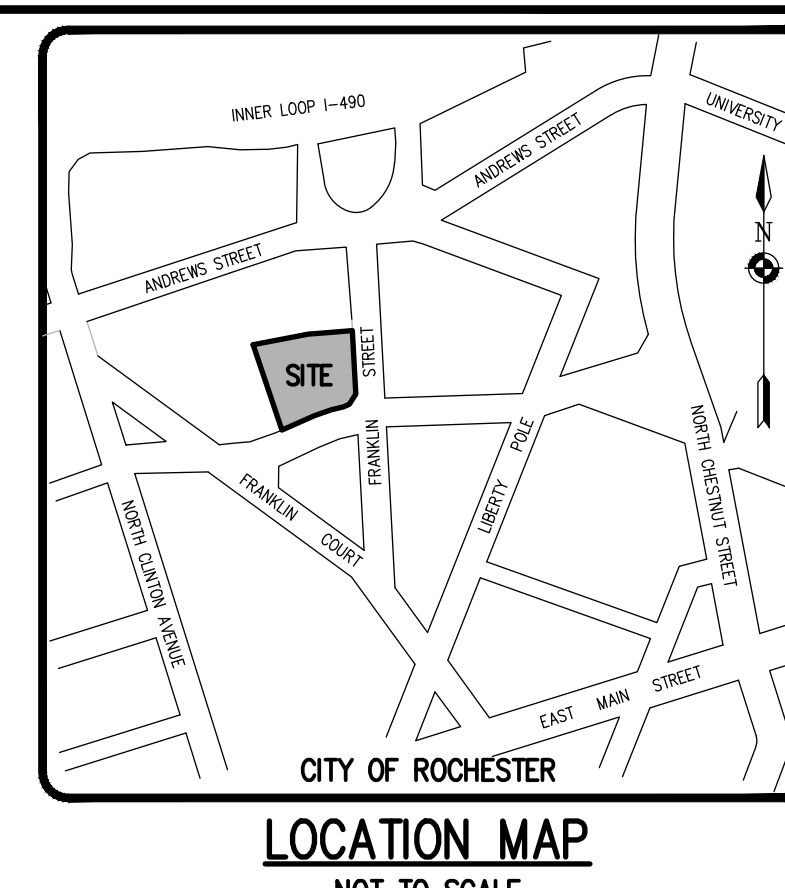
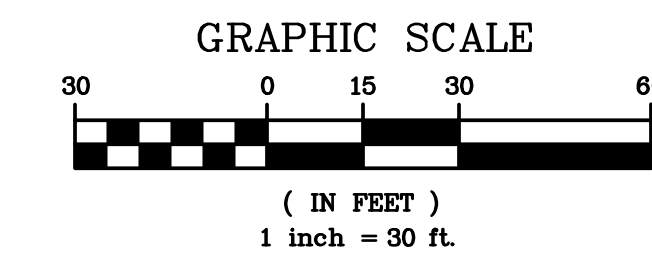
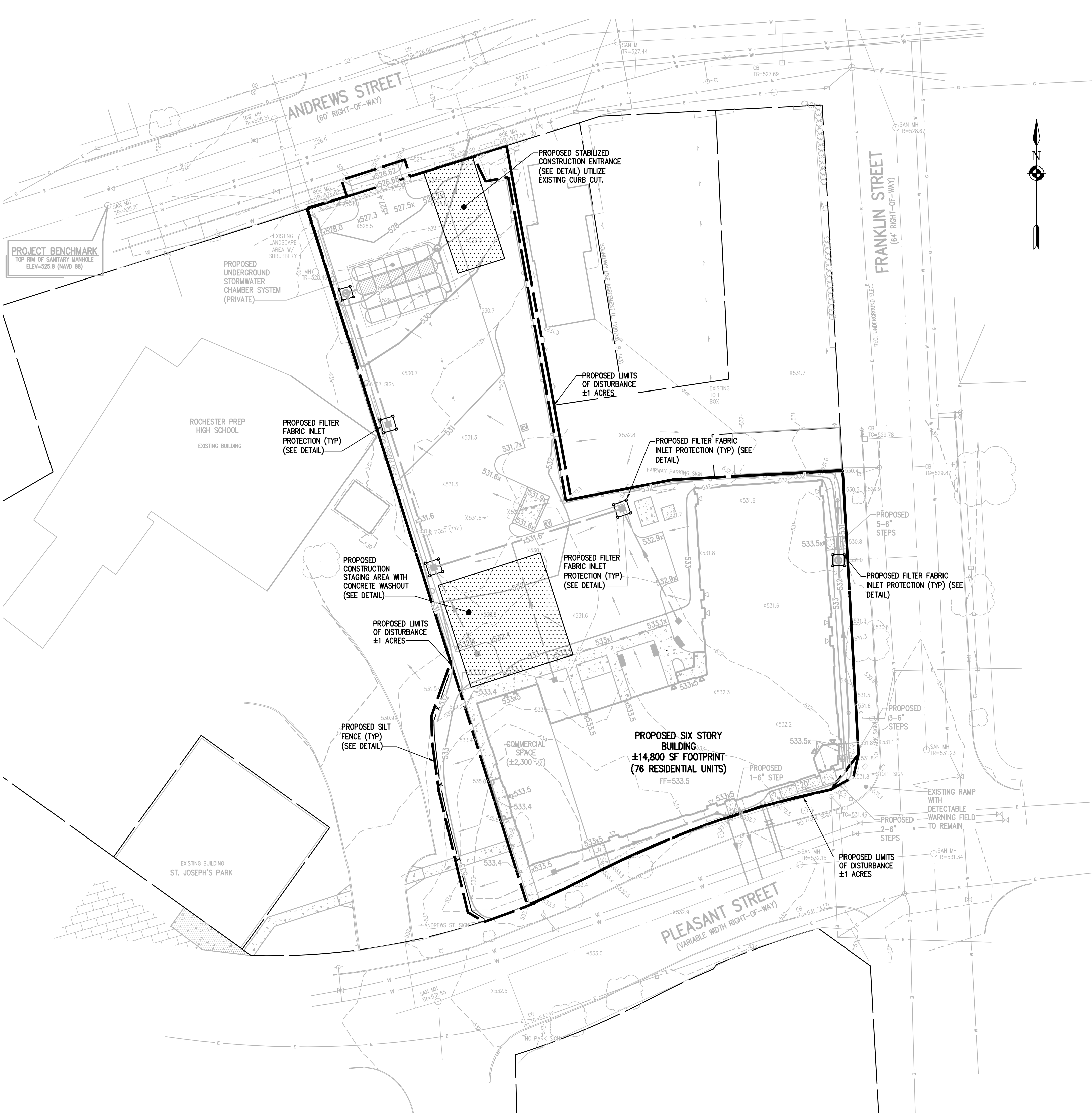
SEEDING RATE: 6.0 LBS PER 1,000 SQ. FT.
MULCH: STRAW OR WOOD FIBER MULCH USED WITH HYDROSEEDING METHOD,
AT TWO TONS PER ACRE WITH TACKIFIER
STARTING FERTILIZER: 5-10-10 AT 20 LBS PER 1,000 SQ. FT

9. ALL SEEDED AREAS ARE TO BE MONITORED FOR GERMINATION AND EROSION. ERODED AREAS ARE TO BE BACKFILLED, FINE GRADED AND RE-SEEDED. AREAS THAT FAIL TO GERMINATE A MINIMUM OF 80% SHALL BE RE-SEEDED.
10. ANY EXCAVATIONS THAT MUST BE DEWATERED SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE BEFORE ENTERING AN ACTIVE DRAINAGE SYSTEM OR DISPERSED TO AN UNDISTURBED AREA.
11. THE OWNER SHALL BE RESPONSIBLE FOR REMOVING EXISTING EROSION CONTROL MEASURES THAT ARE LOCATED WITHIN ESTABLISHED AREAS. MATERIALS ARE TO BE DISPOSED OF PROPERLY.
12. CONTRACTOR TO INSTALL PROPOSED PERIMETER SECURITY FENCE/CONSTRUCTION FENCE AS NECESSARY AND AS DETERMINED IN THE FIELD AROUND THE PERIMETER OF THE SITE.

LEGEND



- BOUNDARY LINE
- PROPOSED LOT LINE
- CENTERLINE
- SETBACK LINE
- ADJOINER LINE
- EX. WATERMAIN, HYDRANT AND VALVE
- PROP. WATERMAIN, HYDRANT AND VALVE
- EXISTING STORM SEWER, AND MANHOLE
- PROPOSED STORM SEWER, MANHOLE AND INLET
- EXISTING SANITARY SEWER AND MANHOLE
- PROPOSED SANITARY SEWER AND MANHOLE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- PROPOSED FINISHED GRADE
- PROPOSED INLET PROTECTION
- PROPOSED SILT FENCE
- PROPOSED LIMIT OF DISTURBANCE
- DRAINAGE FLOW DIRECTION



SEQUENCE OF CONSTRUCTION STEPS:

STEP 1: (SITE PREPARATION AND DEMOLITION)

- INSTALL AND MAINTAIN PERIMETER SECURITY FENCE, STABILIZED CONSTRUCTION ENTRANCE (SEE DETAIL), AND CONSTRUCTION STAGING AREA
- INSTALL PERIMETER SILT FENCE

STEP 2: (CONSTRUCTION ACTIVITY)

- STRIP TOPSOIL FROM THE SITE AND REMOVE FROM SITE.
- SAWCUT AND REMOVE EXISTING ASPHALT FROM THE SITE AS REQUIRED. CONTRACTOR TO REMOVE EXISTING STRUCTURES, UTILITIES, FENCE, SIGNAGE, SIDEWALK ETC. (SEE DEMOLITION PLAN). CONTRACTOR TO PREPARE SITE AS NECESSARY.
- PEDESTRIAN AND VEHICLE ACCESS IS TO BE MAINTAINED TO ADJACENT PROPERTIES (SEE SIDEWALK CLOSURE PLAN).
- COMMENCE GRADING OPERATIONS. INSTALL ADDITIONAL EROSION CONTROL MEASURES. MEASURES ARE TO BE MAINTAINED BY THE CONTRACTOR UNTIL GROUND COVER HAS BEEN ESTABLISHED AND REMOVAL IS APPROVED BY THE CITY/GOVERNING AGENCY. CONTRACTOR TO FINE GRADE, SEED, AND MULCH AREAS DISTURBED AREAS WITHIN 7 DAYS IF NOT WORKED WITHIN 7 DAYS. SEED WITH SEED MIX AS INDICATED, AND PROVIDE MULCH AS SPECIFIED IN THE CONSTRUCTION EROSION CONTROL NOTES.
- CONTRACTOR MAY INSTALL UTILITIES AND LATERALS DURING GRADING OPERATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO STABILIZE THE SITE AND VERIFY GRADING ELEVATIONS PRIOR TO UTILITY CONSTRUCTION. THE STORMTECH CHAMBER SYSTEM TO BE INSTALLED PRIOR TO STABILIZATION OF THE SITE. ADDITIONAL EROSION CONTROL MEASURES SHALL BE PROVIDED AS SHOWN IN THE PLANS, OR AS DIRECTED.

SEQUENCE OF CONSTRUCTION STEPS:

STEP 3: (STABILIZATION & MONITORING)

- COMPLETE INSTALLATION OF UNDERGROUND UTILITIES.
- MAINTAIN SILT FENCE
- SEE CONSTRUCTION EROSION CONTROL NOTES FOR REQUIRED SEED MIXES AND WINTER SITE STABILIZATION METHODOLOGY.
- DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE EFFECT ON THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED AND/OR AS DIRECTED BY THE CITY OR OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE EXISTING ROADWAY INLETS AND DRAINAGE CHANNELS FREE OF MUD, DIRT, AND DEBRIS. THE CONTRACTOR WILL CLEAN THESE AREAS AS NECESSARY OR AS REQUIRED BY THE OWNER OR CITY OF ROCHESTER.

NOT APPROVED

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PHELPS & CORHAN PURCHASE, TOWNSHIP 13, RANGE 7, 3RD DIVISION, FRANKLIN TRACT, T.A. No. 106.80-1-25.001 & ATWATER & ANDREWS TRACT, T.A. No. 106.80-1-44.003

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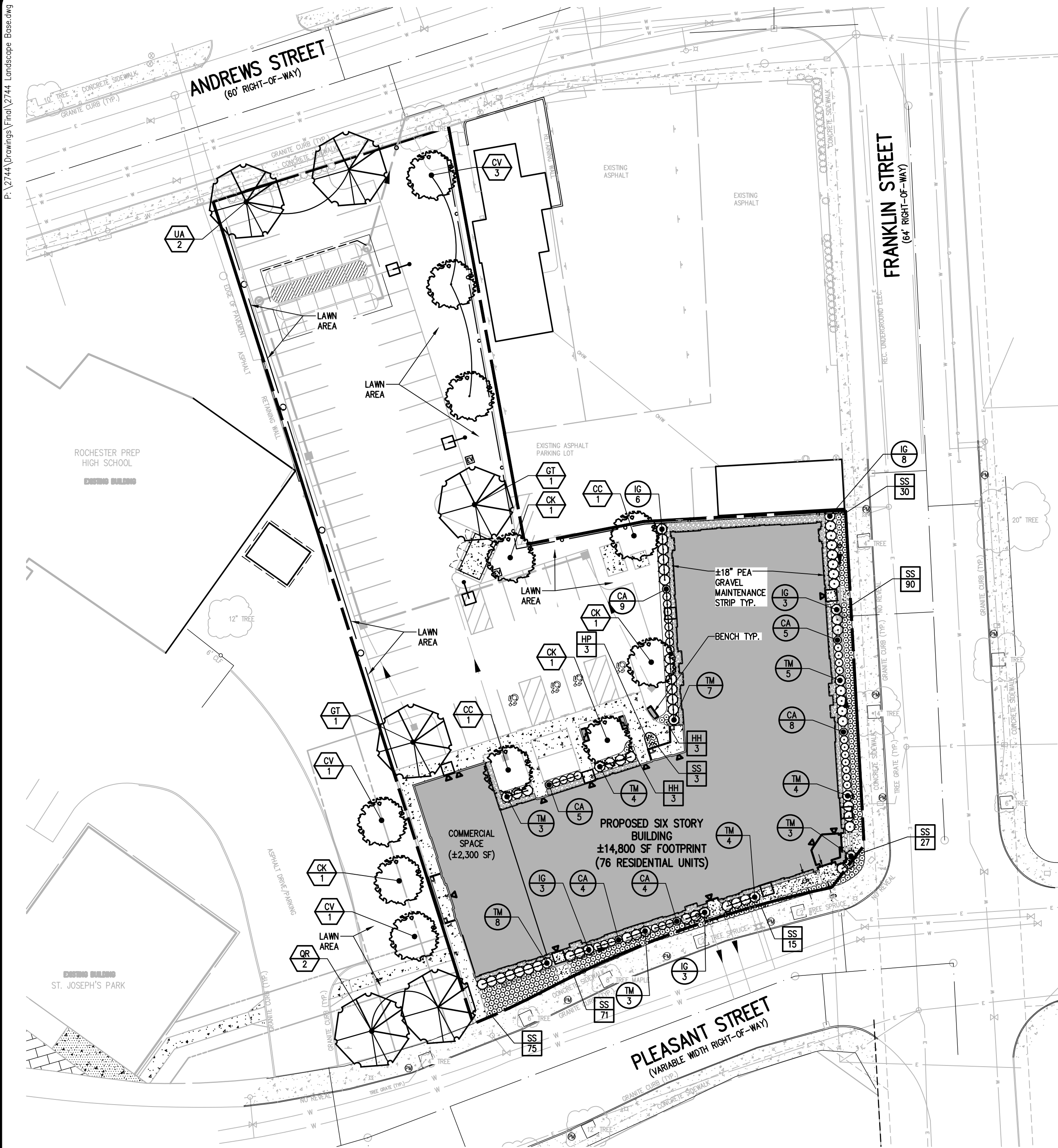
BY	DATE	REVISIONS
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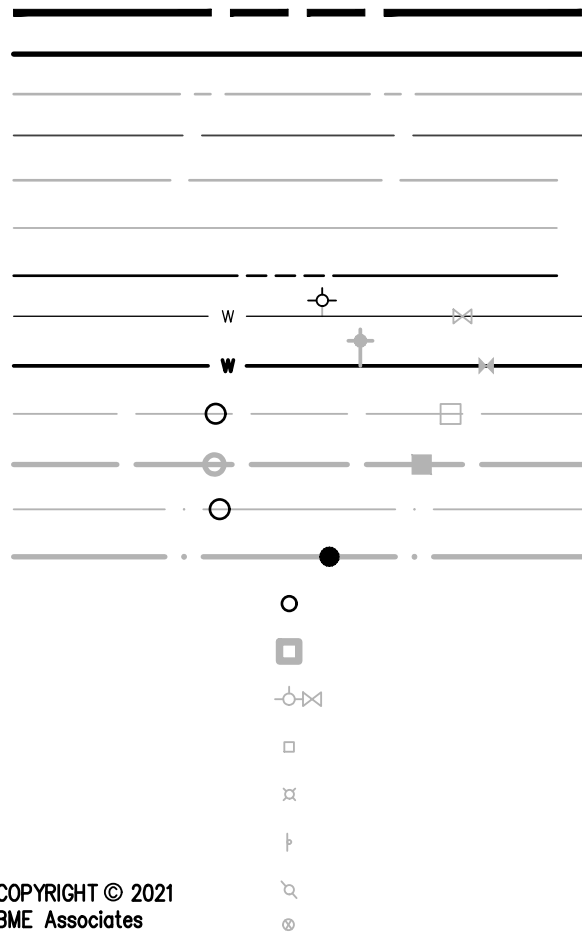


ALTA VISTA AT ST. JOSEPH'S PARK
PROJECT
CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE
LOCATION
ALTA VISTA HOUSING LLC
CLIENT
ROCHESTER, NY 14621
DRAWING TITLE
FINAL
CONSTRUCTION EROSION CONTROL PLAN

PROJECT MANAGER
J. SWEDROCK
PROJECT ENGINEER
RR. SPURR
DRAWN BY
VL. SCHLAGETER
SCALE
1" = 30'
DATE ISSUED
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PROJECT NO.
2744
DRAWING NO.
09



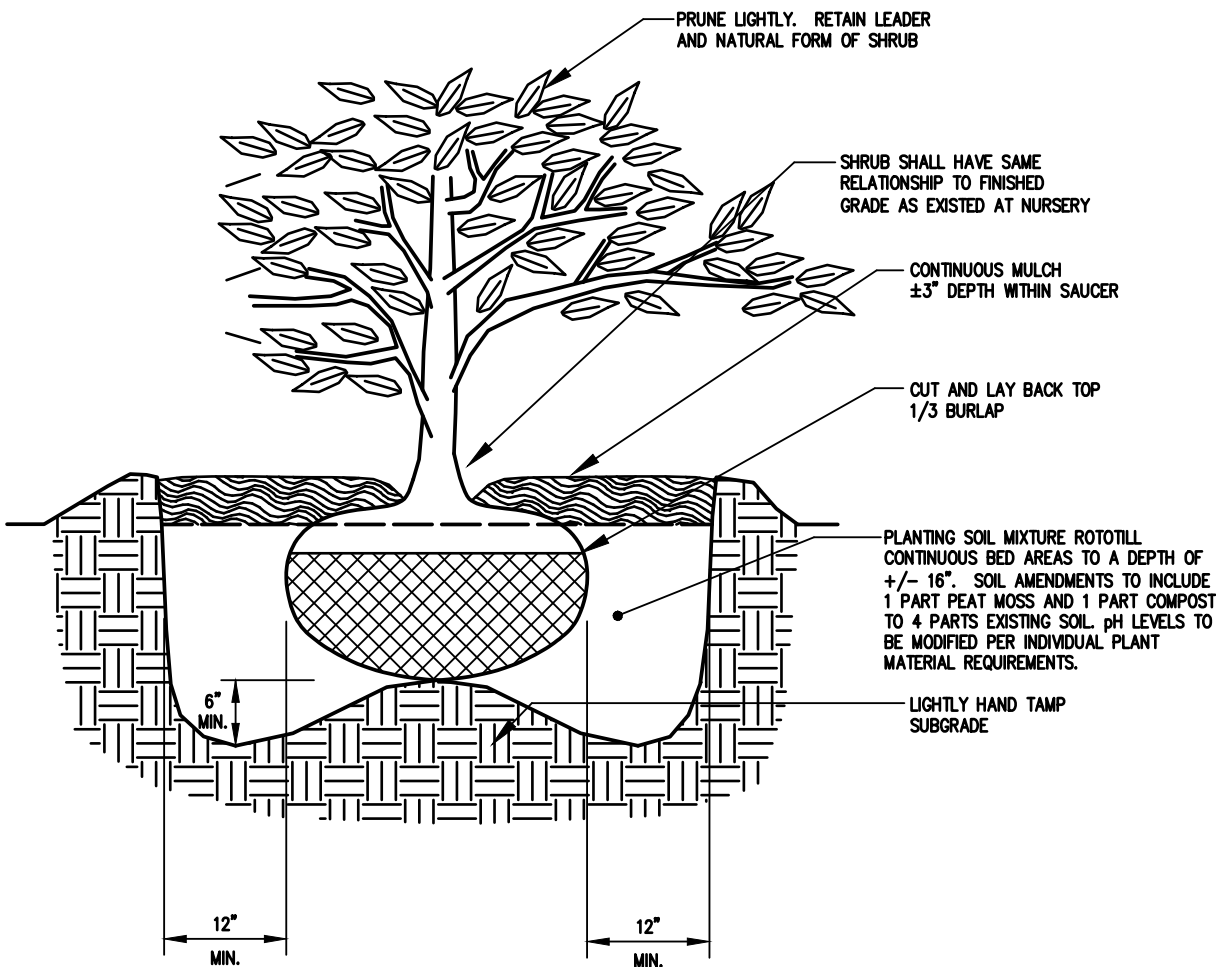
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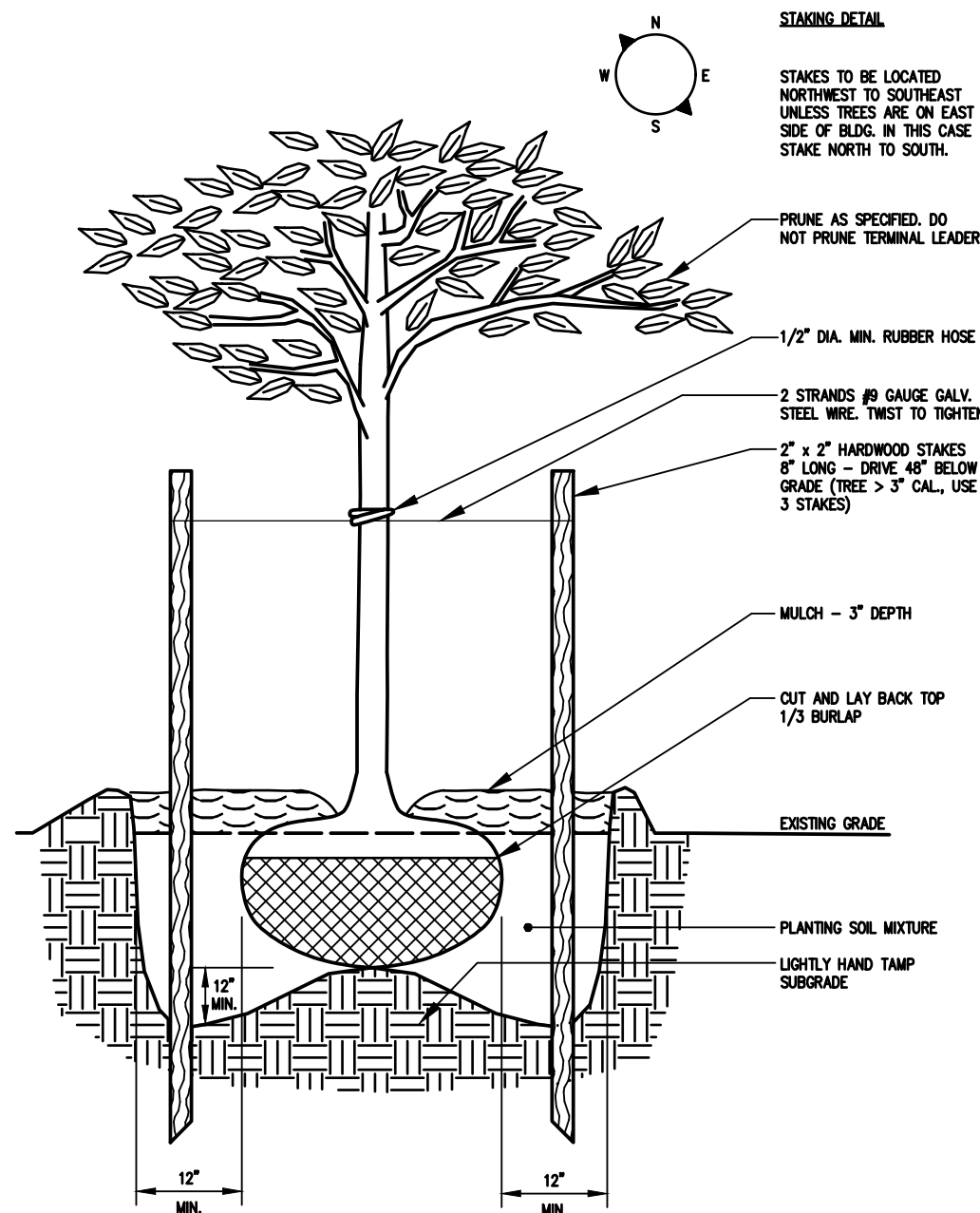
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PROPERTY MARKER FOUND
CONCRETE HIGHWAY MONUMENT FOUND
EXISTING HYDRANT AND VALVE
EXISTING CATCH BASIN
EXISTING LIGHT POLE
EXISTING SIGN
EXISTING UTILITY POLE
EXISTING GAS SERVICE

SITE PLANT MATERIALS LIST

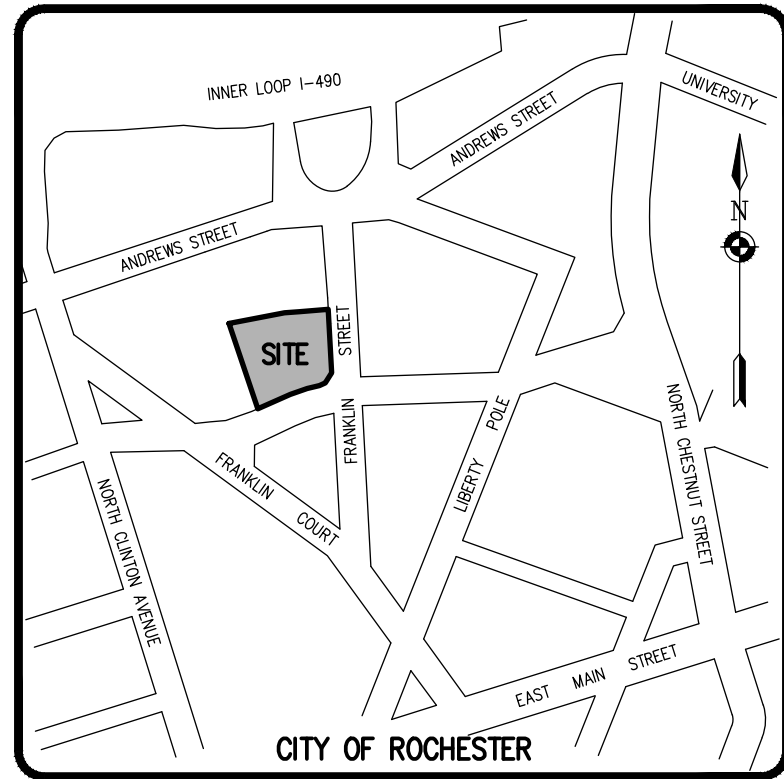
QTY.	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	COMMENTS
TREES						
2	CC	Cercis canadensis 'Rising Sun'	Rising Sun Redbud	2.5" cal	B&B	
4	CK	Cornus Kousa	Kousa Dogwood	2.5" cal	B&B	
5	CV	Crataegus viridis 'Winter King'	Winter King Hawthorn	2.5" cal	B&B	
2	GT	Gleditsia triacanthos var. inermis 'Shademaster'	Honeylocust	2.5" cal	B&B	
2	UA	Ulmus americana 'Valley Forge'	American Elm	2.5" cal	B&B	
2	QR	Quercus rubra	Red Oak	2.5" cal	B&B	
SHRUBS						
35	CA	Clethra alnifolia 'Hummingbird'	Hummingbird Summersweet	24"	B&B	or cont
23	IG	Ilex glabra 'Compacta'	Inkberry	24"	B&B	or cont
41	TM	Taxus X media 'Densiflora'	Dense Yew	24"	B&B	or cont
PERENNIALS/GRASSES						
6	HH	Hemerocallis 'Happy Returns'	Happy Returns Daylily	#1	cont.	spacing @ 24"
3	HP	Heuchera 'Southern Comfort'	Coral Bells	#1	cont.	spacing @ 24"
311	SS	Schizachyrium scoparium 'Prairie Blues'	Little Bluestem	#1	cont.	spacing @ 24"



SHRUB PLANTING DETAIL
N.T.S.



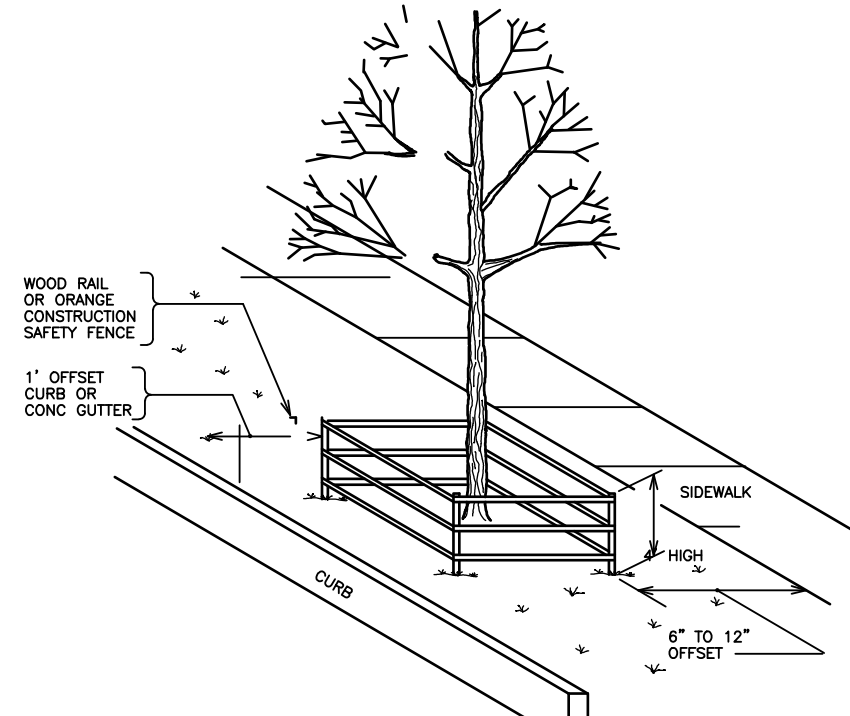
TREE PLANTING DETAIL
N.T.S.



LOCATION MAP
NOT TO SCALE

TREE DIAMETER (DBH)	DISTANCE OF FENCING FROM FACE OF TREE TRUNK
LESS THAN 10"	5'
10" - 14"	10'
15" - 19"	12'
20" OR MORE	15'

NOTE:
1. ALL TREES WITHIN THE PROJECT LIMITS THAT ARE TO REMAIN TO RESIDE THIS TREATMENT.
2. DO NOT LEAVE CONSTRUCTION EQUIPMENT RUNNING (IDLE) UNDER TREE CANOPY.



CITY OF ROCHESTER TREE PROTECTION ZONE FENCING			
ISSUED	11-20-92	STD. DWG.	
REVISED	7-1-93	NO. S617-1	

LANDSCAPE NOTES:

- ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED IN THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, ANSI Z60.1-2004.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY TAKEOFFS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION.
- ALL TREES SHALL BE LOCATED A MINIMUM DISTANCE OF FIVE FEET (5') FROM THE HORIZONTAL LINE OF UNDERGROUND UTILITIES TO THE PLANT BALL.
- ALL TREES SHALL BE LOCATED A MINIMUM DISTANCE OF TEN FEET (10') FROM THE HORIZONTAL LINE OF OVERHEAD UTILITIES TO THE PLANT BALL.
- PLANTING SOIL MIXTURE SHALL HAVE A RATIO BY VOLUME OF FOUR PARTS TOPSOIL TO ONE PART PEAT, SOIL AMENDMENTS TO BE MODIFIED PER INDIVIDUAL PLANT MATERIAL REQUIREMENTS.
- STAKE TREES IMMEDIATELY AFTER PLANTING. REFER TO DETAIL.
- PROVIDE ALL PLANTING BEDS WITH A CONTINUOUS 3" LAYER OF MULCH. MULCH SHALL BE PROVIDED AS FOLLOWS:

FOR BUILDING FOUNDATION PLANTING BEDS, PROVIDE A 3" LAYER OF WASHED COBBLES 1"-3" IN SIZE. PROVIDE WEED BARRIER MATERIAL BETWEEN SOIL AND MULCH LAYER.

FOR ALL OTHER LANDSCAPE PLANTING BEDS PROVIDE SHREDDED HARDWOOD MULCH PER DETAILS.
- SEED ALL AREAS NOT PAVED, PLANTED OR SPECIFIED OTHERWISE WITH LAWN SEED.

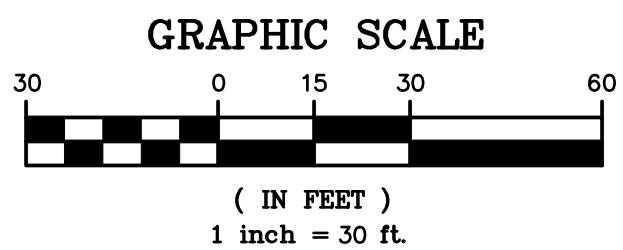
A. LAWN SEED MIXTURE SHALL BE PROVIDED AS FOLLOWS:

	% BY WEIGHT	% BY PURITY	% GERM
'REPELL', 'OTATION' & 'MORNING STAR'			
PERENNIAL RYE GRASS	40	85	85
'JAMESTOWN II', 'FORTRESS', 'ENSYLYA'			
RED FESCUE	20	97	80
'BARON' & 'MIDNIGHT'			
KENTUCKY BLUEGRASS	40	85	80

SEEDING RATE: 6.0 LBS PER 1,000 SF.
MULCH: STRAW AT TWO TONS PER ACRE, OR WOOD FIBER MULCH USED WITH A HYDROSEEDING APPLICATION METHOD, WITH TACKIFIER.
STARTING FERTILIZER: 5-10-10 AT 20 LBS PER 1,000 SF.

PLEASE REFER TO BME DRAWING # 2744-09 / CONSTRUCTION EROSION CONTROL PLAN FOR FURTHER SEEDING REQUIREMENTS IE. : TEMPORARY SEEDING AND SPECIALIZED SEED MIXES.

- PROPOSED PLANT MATERIALS SHALL BE FIELD LOCATED, AND THE CONTRACTOR SHALL PERFORM A ROUGH STAKEOUT OF PLANTINGS FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CARE AND MAINTENANCE OF PLANT MATERIALS AND SEEDING AREAS UNTIL FINAL ACCEPTANCE. ONCE THE LANDSCAPING IS ACCEPTED BY THE OWNER, THE LANDSCAPE MAINTENANCE IS TO BE PROVIDED BY OWNER/ OWNER REPRESENTATIVE FOR THE (1) ONE YEAR MAINTENANCE GUARANTEE PERIOD.
- ANY PROPOSED DEVIATION TO THE LANDSCAPING PLAN MUST FIRST BE REVIEWED AND APPROVED BY THE PLANNING BOARD CHAIRMAN AND THE DIRECTOR OF ENGINEERING AND PLANNING PRIOR TO THE INSTALLATION OF THE PROPOSED LANDSCAPING CHANGES.



Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way. If on item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation "altered by followed by his signature and the date of such alteration, and a specific description of the alteration."

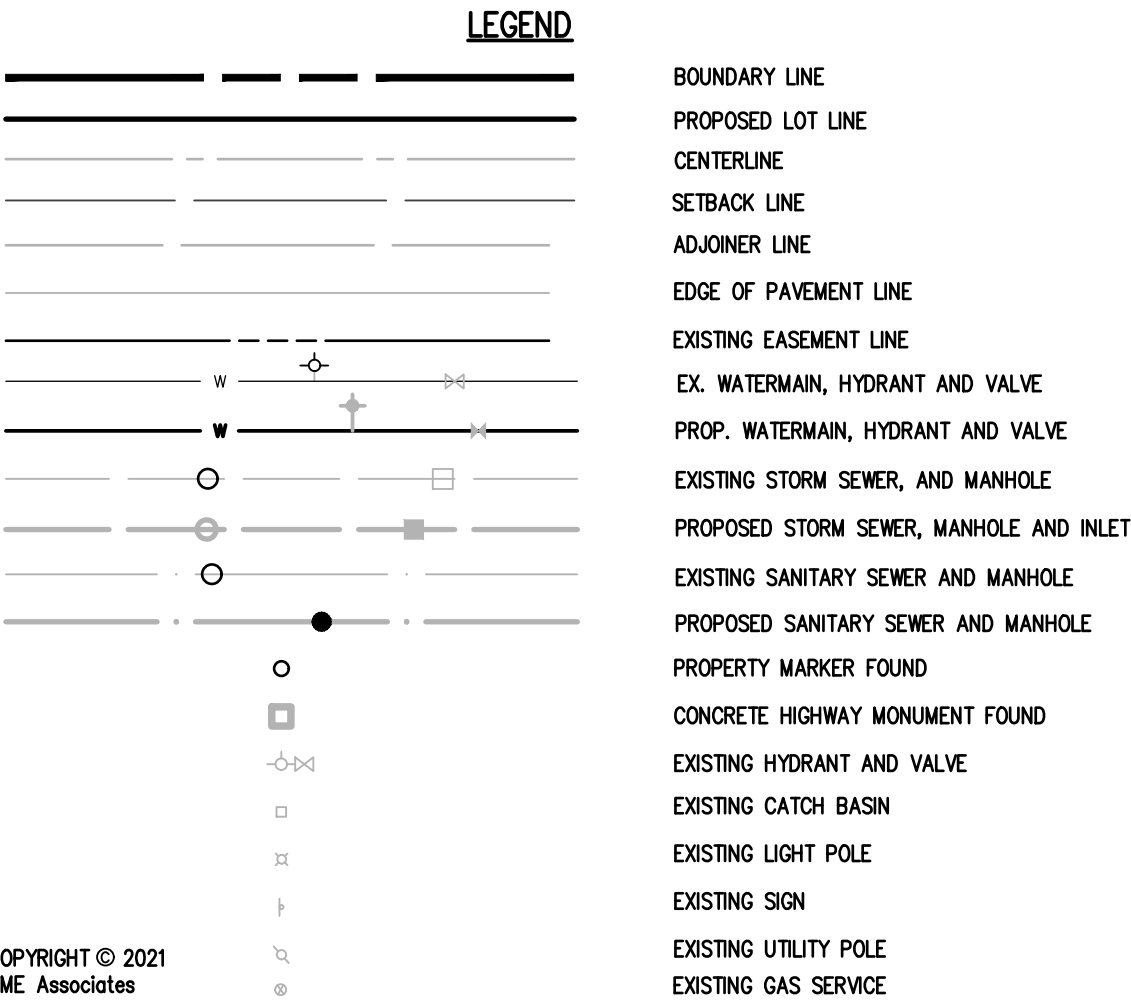
REVISIONS	DATE	BY
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PHONE 585-377-7380
10 LIFT BRIDGE LANE EAST FAIRPORT, NEW YORK 14450
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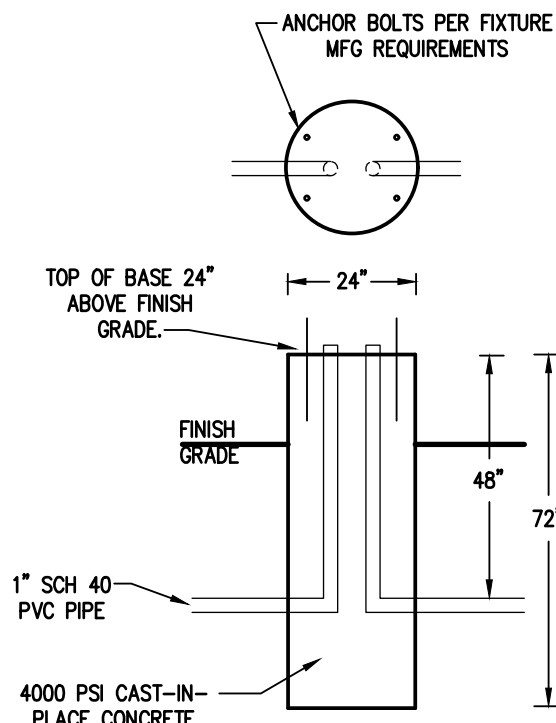
ALTA VISTA AT ST. JOSEPH'S PARK
CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE
ALTA VISTA HOUSING LLC
504 CLEVER AVE.
ROCHESTER, NY 14621
FINAL LANDSCAPE PLAN

PROJECT LOCATION CLIENT DRAWING TITLE
PROJECT ENGINEER
R.R. SPURR
DRAWN BY
R. JONES
SCALE DATE ISSUED
1" = 30' DECEMBER 07, 20
PROJECT NO.
2744
DRAWING NO.
10



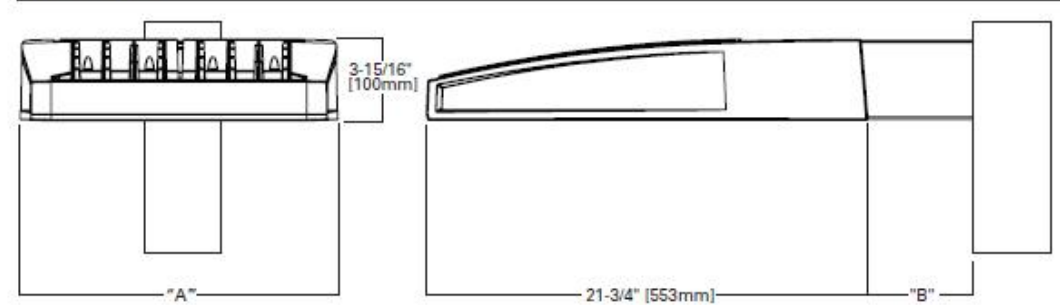
TYPE	QTY	MANUFACTURER	CATALOGUE NUMBER	ARRANGEMENT	WATTAGE	LUMENS/LAMP	LLF	MH	POLE	DESCRIPTION
A	<div><div></div><div></div><div></div></div> 3	GLEON	AF-04-LED-E1-SLR	Single	225	23,844	1.0	22'	20'	MCGRAW EDISON, GLEON, GALLEON LED LUMINAIRE WITH TYPE 4 DISTRIBUTION
B	<div><div></div><div></div><div></div></div> 2	GWC	AF-01-LED-E1-T4W	Single	59	6,313	1.0	12'		MCGRAW EDISON, GLEON, GALLEON WALL LUMINAIRE WITH TYPE T4W DISTRIBUTION
C	<div><div></div><div></div><div></div></div> 4	GWC	AF-01-LED-E1-T2	Single	59	6,238	1.0	12'		MCGRAW EDISON, GLEON, GALLEON WALL LUMINAIRE WITH TYPE T2 DISTRIBUTION
D	<div><div></div><div></div><div></div></div> 1	GWC	AF-01-LED-E1-SLR	Single	59	5,588	1.0	12'		MCGRAW EDISON, GLEON, GALLEON WALL LUMINAIRE WITH TYPE SLR DISTRIBUTION

**22' MOUNTING HEIGHT
LIGHT POLE DETAIL**
N.T.S.



LIGHT POLE BASE DETAIL
N.T.S.

DIMENSIONS

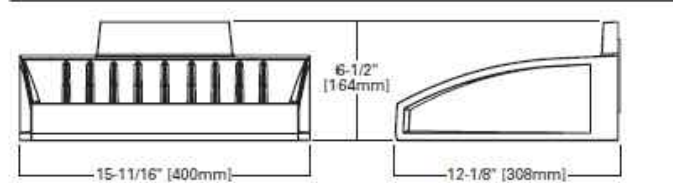


DIMENSION DATA

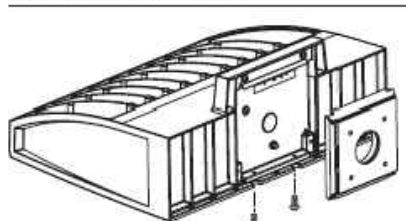
Number of Light Squares	"A" Width	"B" Standard Arm Length	"B" Optional Arm Length	Weight with Arm (lbs.)	EPA with Arm (Sq. Ft.)
1-4	15-1/2" (394mm)	7" (178mm)	10" (254mm)	23 (15.0 kgs.)	0.96

POLE MOUNT LIGHT FIXTURE DETAIL
N.T.S.

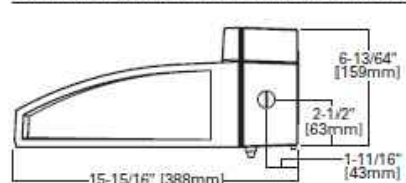
DIMENSIONS



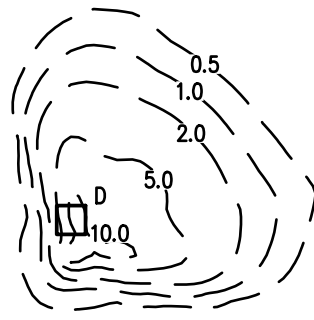
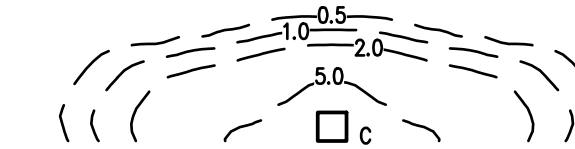
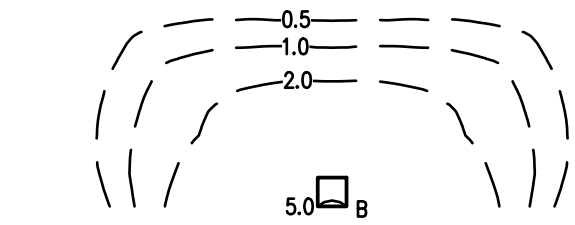
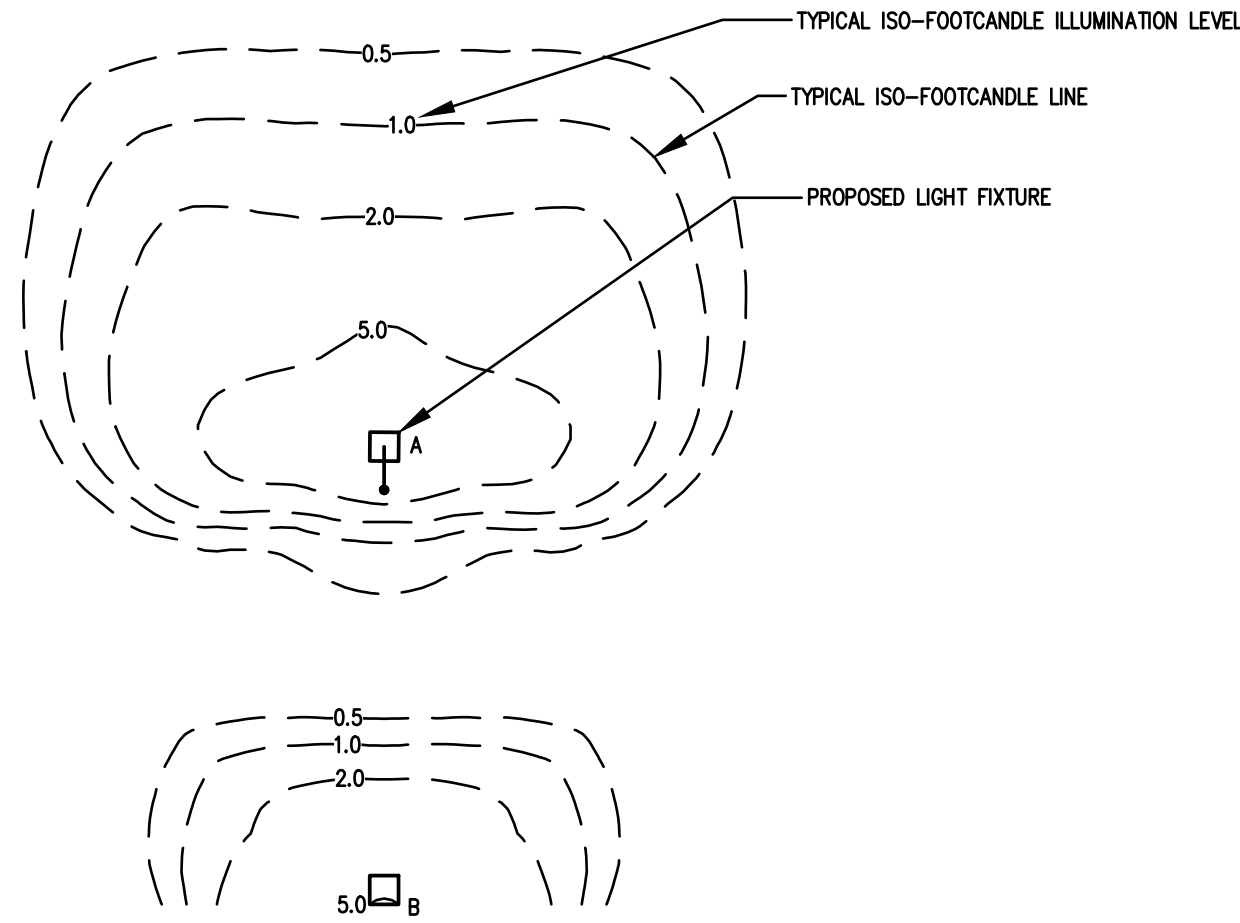
HOOK-N-LOCK MOUNTING



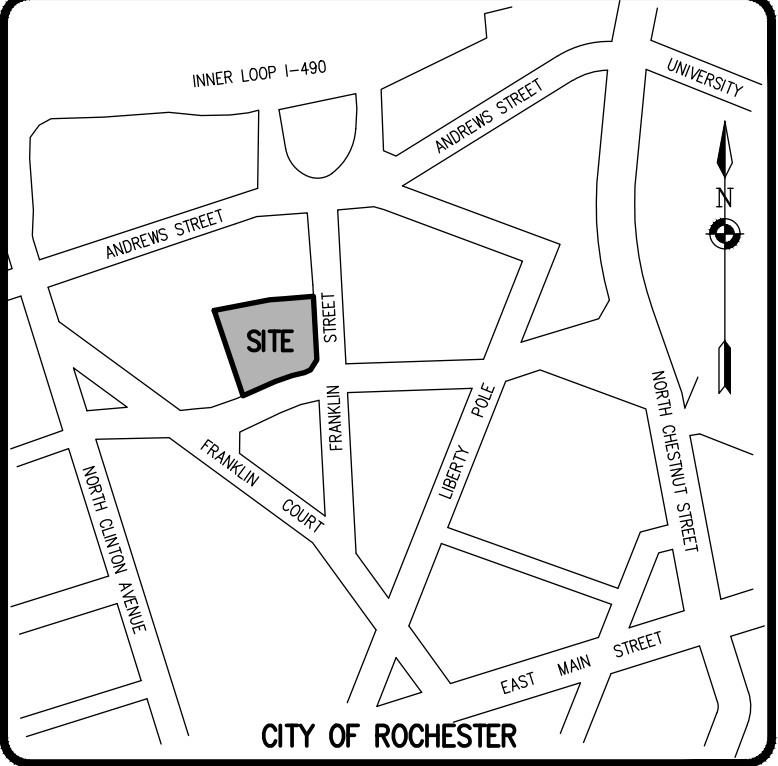
BATTERY BACKUP AND THRU-BRANCH BACK BOX



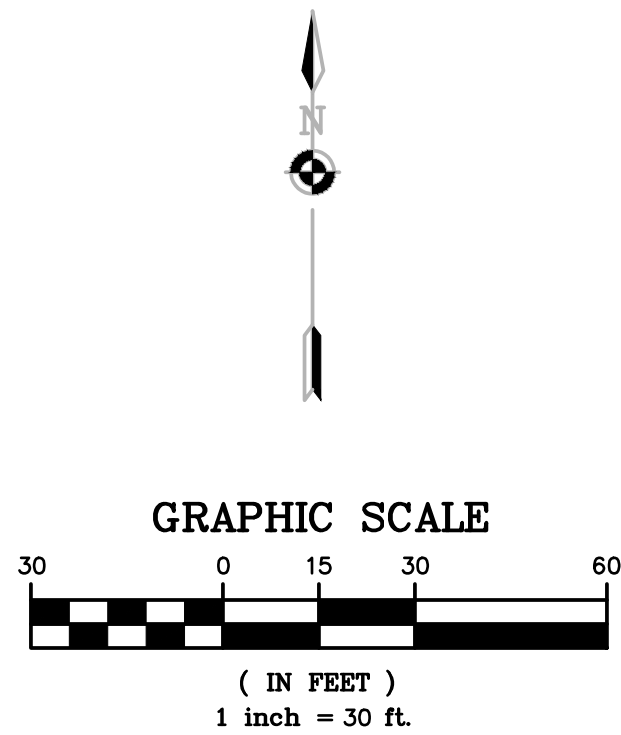
WALL MOUNT LIGHT FIXTURE DETAIL
N.T.S.



TYPICAL ISO-FOOTCANDLE PLOT
N.T.S.



LOCATION MAP
NOT TO SCALE



PARKING LOT LIGHTING NOTES:

- SITE LIGHTING TO BE PROVIDED AS DETAILED IN PROVIDED LUMINAIRE SCHEDULE, OR APPROVED EQUIVALENT.
- SITE LIGHTING LUMINAIRES TO BE LED FIXTURES AS LISTED IN THE LUMINAIRE SCHEDULE OR AN APPROVED EQUIVALENT.
- ALL FIXTURES TO HAVE BLACK FINISH.
- ALL SITE LIGHTING TO BE DARK SKY COMPLIANT.
- ALL SITE LIGHTING TO BE CONTROLLED WITH DUSK TO DAWN PHOTO CONTROLS.
- ALL POLES TO BE PROVIDED A 120 VOLT LIGHTING CIRCUIT.
- ALL LIGHT POLES TO BE SQUARE, COOPER LIGHTING SOLUTIONS STRAIGHT STEEL SSA5A20S, DARK BRONZE, 20' POLE LENGTH OR APPROVED EQUIVALENT.
- CONTRACTOR IS RESPONSIBLE FOR ALL QUANTITIES AND TAKEOFFS.
- CONTRACTOR TO SUPPLY POLE INFORMATION FOR OWNER REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- OWNER / CONTRACTOR IS RESPONSIBLE FOR ALL ELECTRICAL SERVICE DISTRIBUTION AND LIGHTING CIRCUITRY DESIGN.
- REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING ILLUMINATION LIGHTING FIXTURES, SPECIFICATIONS AND LOCATIONS.

Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way, if an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration."

REVISIONS	DATE	BY
1		
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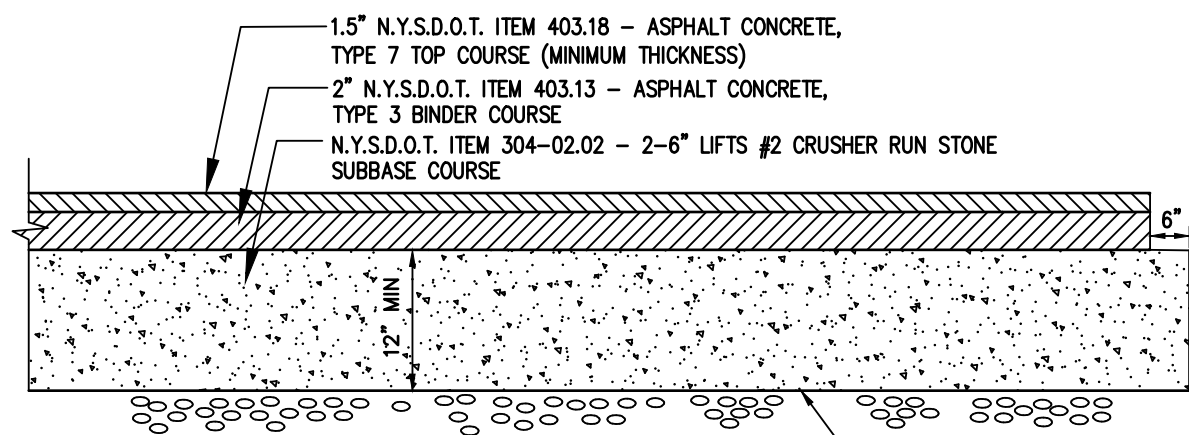
ALTA VISTA AT ST. JOSEPH'S PARK
CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE
ALTA VISTA HOUSING LLC
954 CLIFFORD AVE.
ROCHESTER, NY 14621
FINAL LIGHTING PLAN

PROJECT LOCATION CLIENT DRAWING TITLE

PROJECT MANAGER
PROJECT ENGINEER
DRAWN BY
R. JONES
SCALE DATE ISSUED
1" = 30' DECEMBER 07, 20

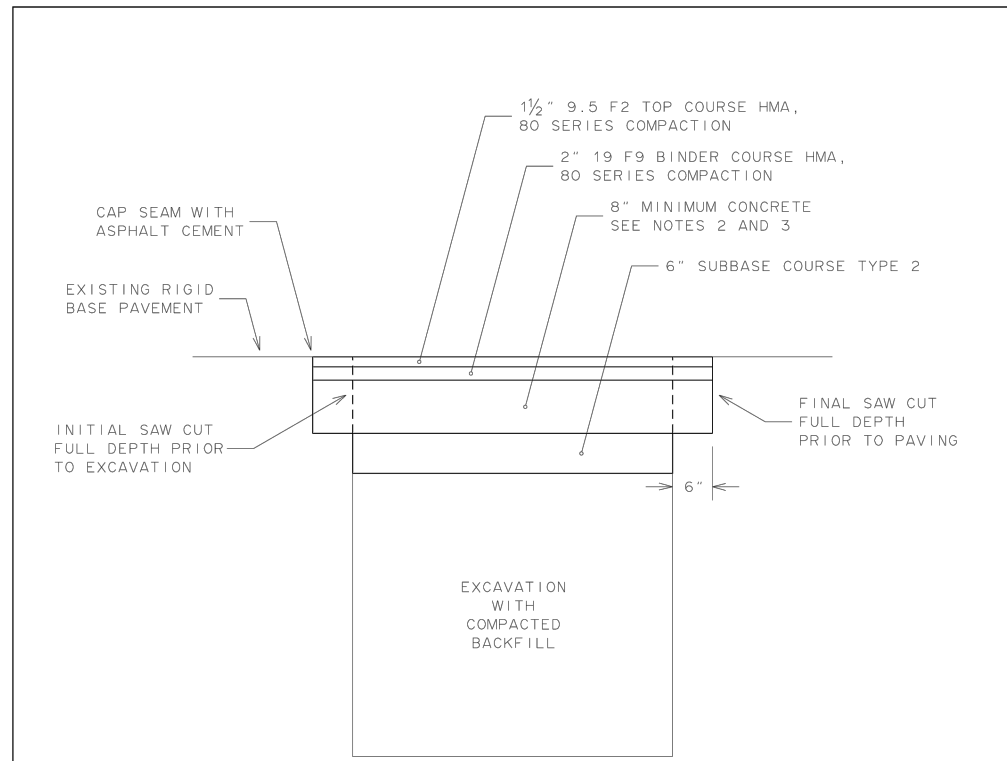
PROJECT NO.
2744
DRAWING NO.
11

PA 2744 (Drawings) Final 02/14 Bredt Base.dwg



STANDARD PAVEMENT SECTION

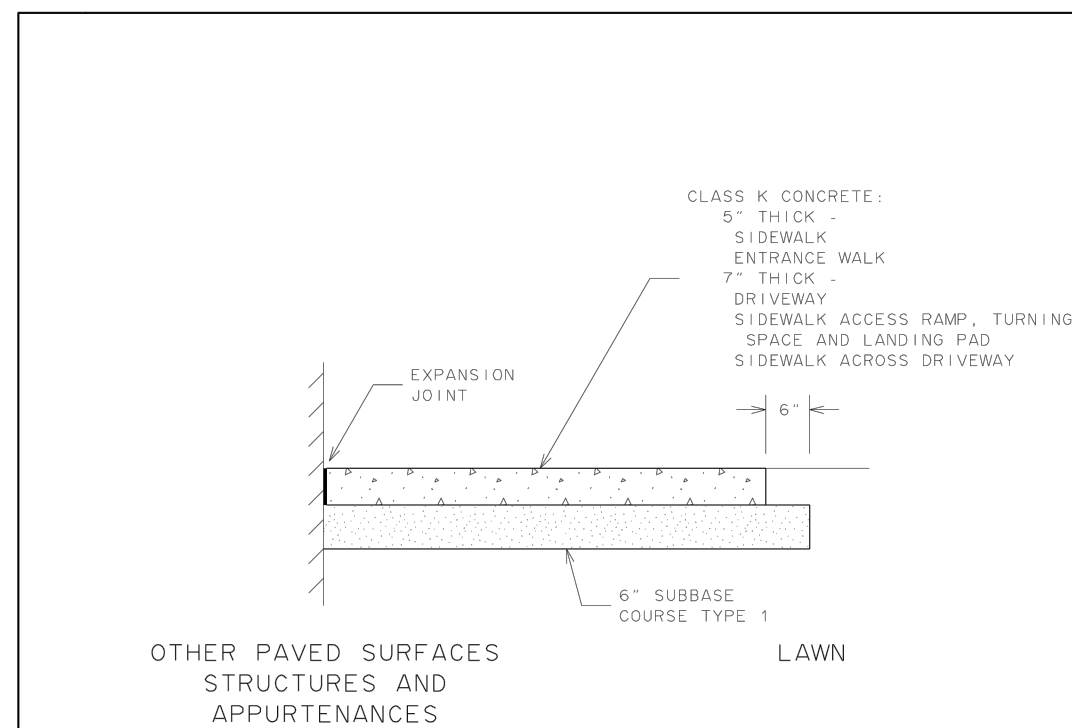
N.T.S.



NOTES:

1. FINAL SAW CUT IS TO BE FULL DEPTH TO OBTAIN STRAIGHT AND NEAT EDGE FOR PAVING. SAW CUT IS TO BE MADE AFTER TRENCH HAS BEEN BACKFILLED AND BEFORE CONSTRUCTING PAVEMENT SECTION.
2. CONCRETE IS TO BE CLASS C OR F IN ACCORDANCE WITH NYS DOT SECTION 503 PORTLAND CEMENT CONCRETE FOUNDATION FOR PAVEMENT.
3. TOP OF NEW CONCRETE BASE IS TO BE AT OR BELOW TOP OF EXISTING CONCRETE BASE TO PROVIDE FOR MINIMUM 8 INCHES OF CONCRETE AND MINIMUM THICKNESSES OF ASPHALT TOP AND BINDER COURSES.
4. TACK COAT IS TO BE APPLIED BETWEEN ALL LIFTS OF HMA PAVEMENT COURSES AND ON TOP OF CONCRETE BASE.
5. SEAMS BETWEEN EXISTING AND NEW PAVEMENT ARE TO BE SEALED WITH AN ASPHALT CEMENT FILLER THAT IS IN ACCORDANCE WITH NYS DOT MATERIAL DESIGNATION 702-0700.

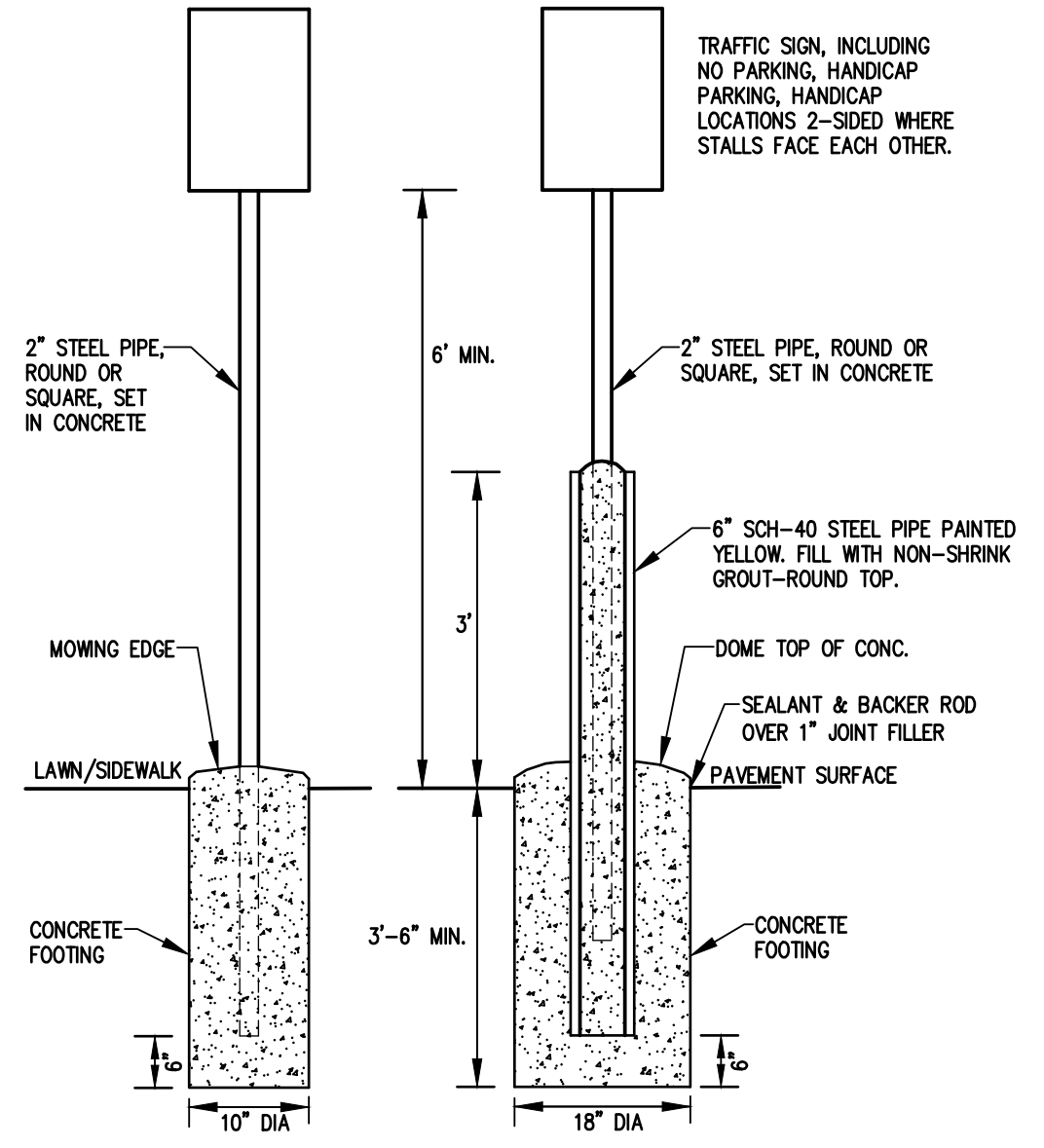
CITY OF ROCHESTER
TRENCH
RESTORATION
CONCRETE BASE
ISSUED 9-2-91 STANDARD
REVISED 2-8-13 DWG.NO.R206-2



NOTES:

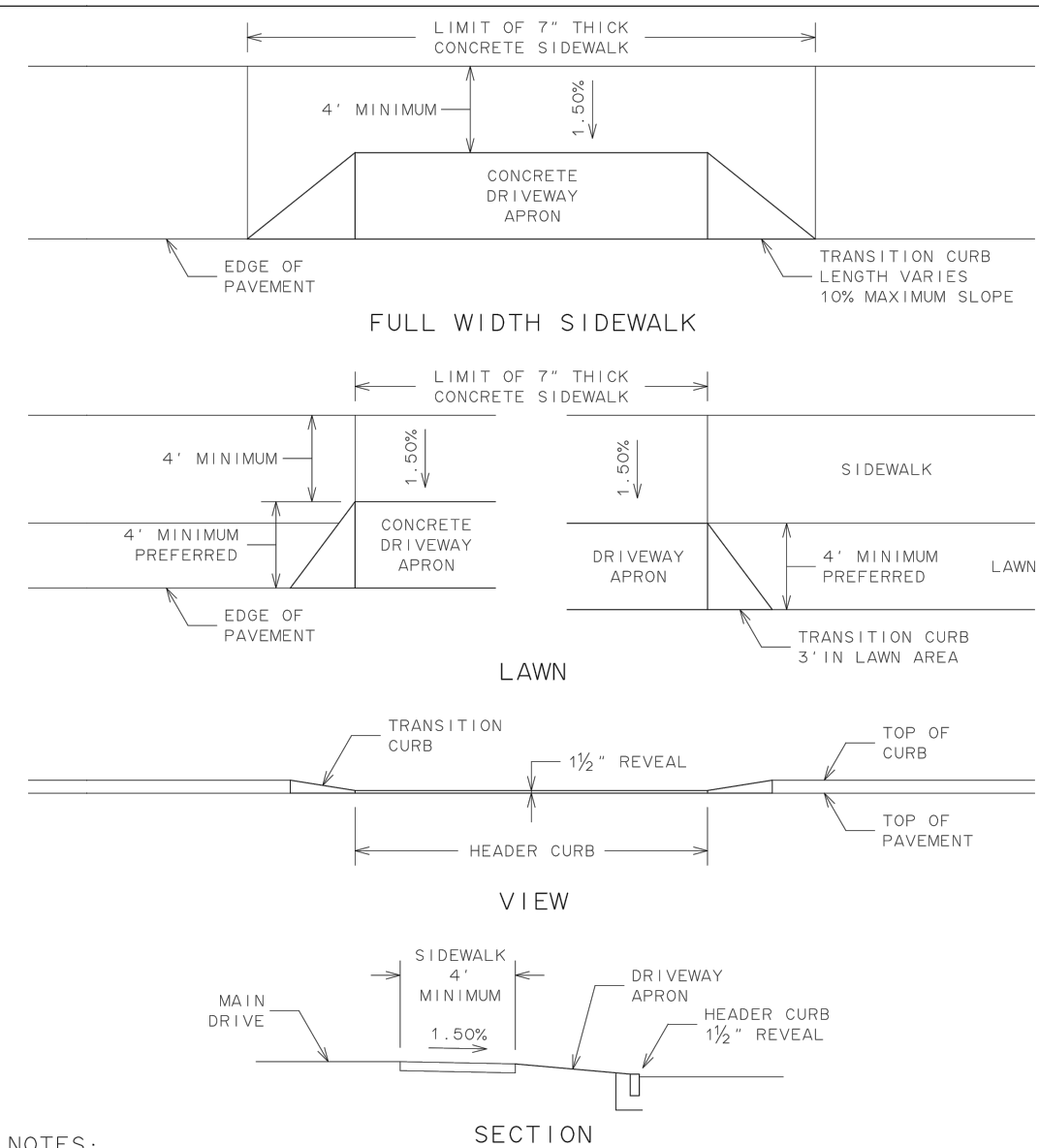
1. MINIMUM CLEAR WIDTH FOR SIDEWALK IS 5 FEET AS MEASURED FROM BACK EDGE OF CURB OR CONCRETE GUTTER.
2. CROSS SLOPE OF SIDEWALK TO BE 1.50%.
3. SURFACE TO BE FIRM, STABLE AND SLIP-RESISTANT.
4. SIDEWALK ACCESS RAMP AND LANDING PAD TO BE 7 INCH THICK CLASS K CONCRETE.
5. PROVIDE 1/2 INCH WIDE EXPANSION JOINT BETWEEN NEW CONCRETE CONSTRUCTION AND OTHER PAVED SURFACES, STRUCTURES AND APPURTENANCES.
6. EXPANSION JOINT: 1/2 INCH WIDE PREMOULDED EXPANSION JOINT MATERIAL, SEAL WITH CAULKING SEALANT 1/2 INCH WIDE 3/8 INCH DEEP.
7. SIDEWALK SURFACE, GRADE AND CROSS SLOPE ARE TO BE MAINTAINED ACROSS DRIVEWAYS.

CITY OF ROCHESTER
CONCRETE
SIDEWALK AND
DRIVEWAY
ISSUED 9-2-91 STANDARD
REVISED 7-1-17 DWG.NO.R608-6



SIGN MOUNTING DETAIL

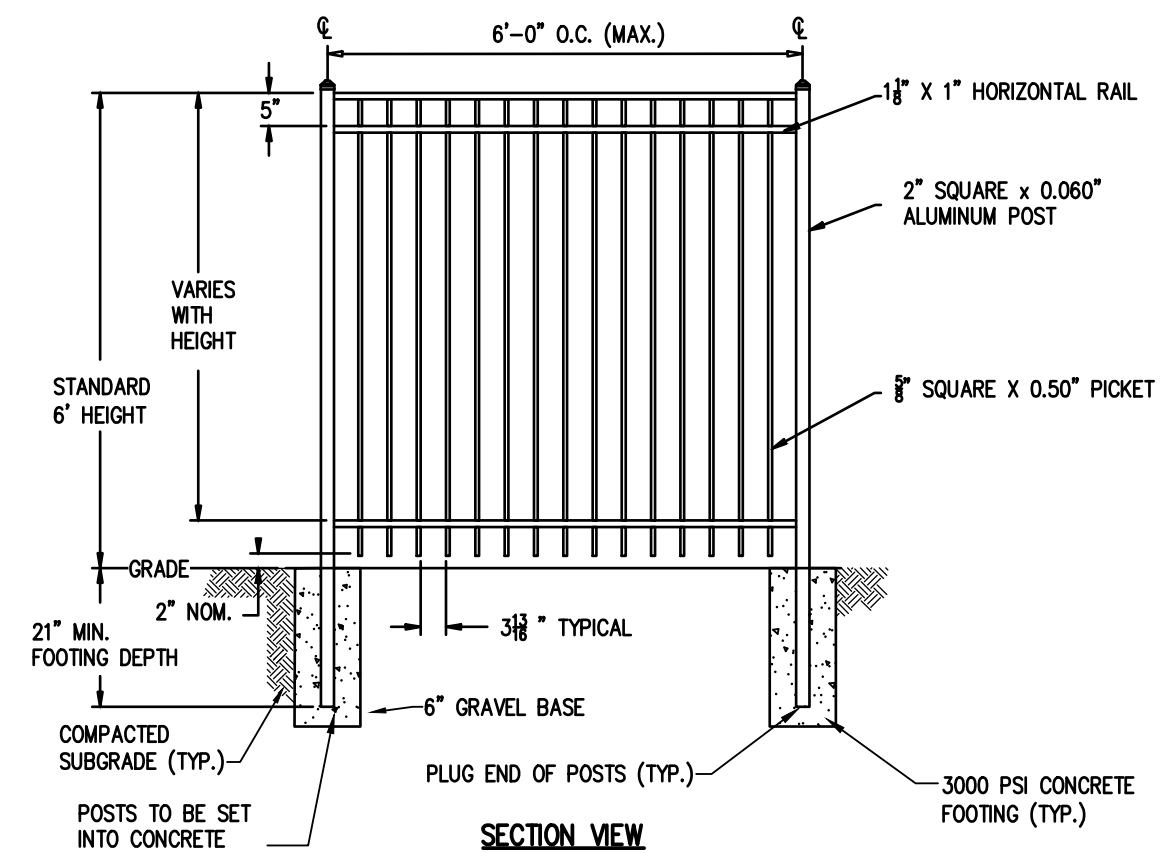
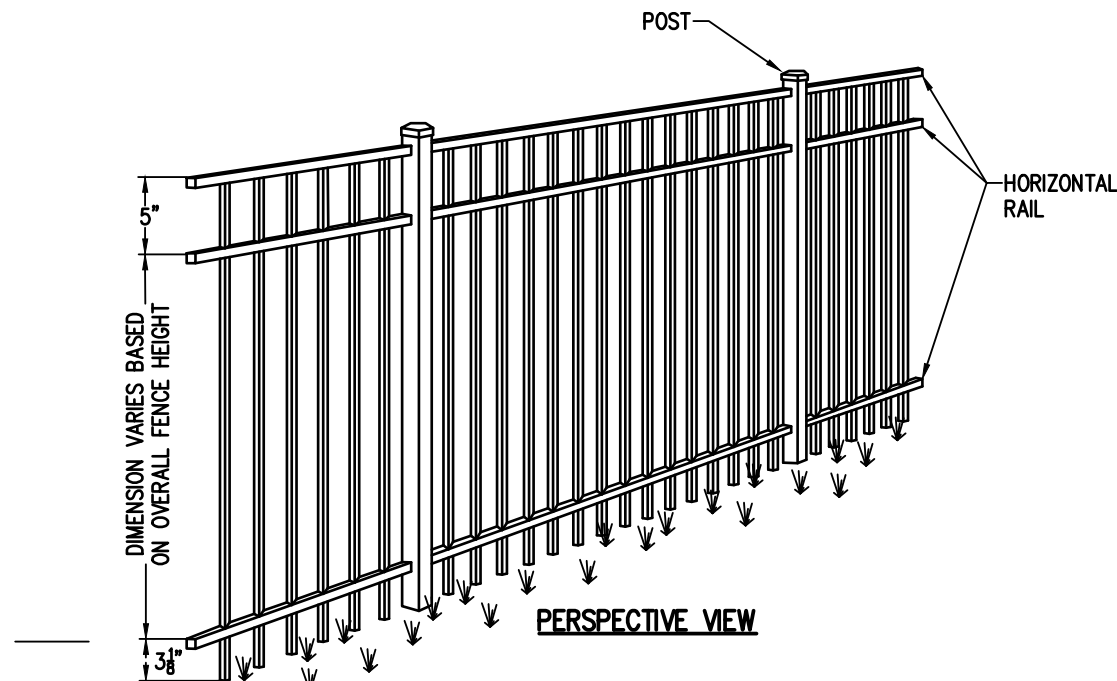
N.T.S.



NOTES:

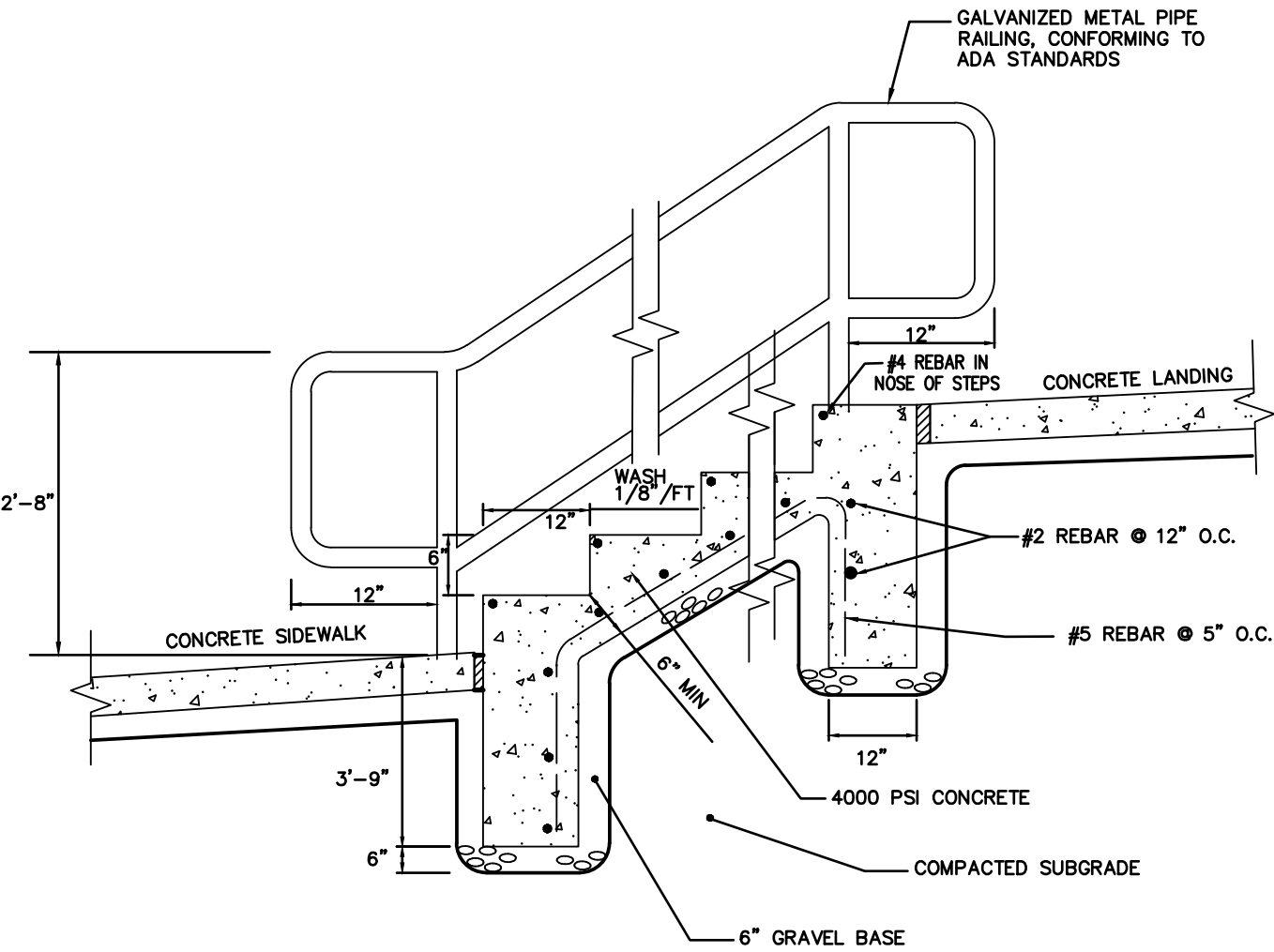
1. NOMINAL HEADER CURB LENGTH IS BETWEEN 10 AND 15 FEET FOR RESIDENTIAL DRIVEWAY, 24 FEET MAXIMUM FOR TWO-WAY COMMERCIAL DRIVEWAY, 16 FEET MAXIMUM FOR ONE-WAY COMMERCIAL DRIVEWAY. ACTUAL WIDTH WILL BE AS APPROVED BY CITY.
2. FULL DEPTH 1/2 INCH WIDE EXPANSION JOINT ACROSS SIDEWALK AT BOTH ENDS AND AROUND OUTER LIMITS OF DRIVEWAY APRON WHERE ADJUTS OTHER PAVED SURFACES.
3. MAXIMUM DESIRABLE DRIVEWAY APRON SLOPE, 8% FOR RESIDENTIAL DRIVEWAY, 6% FOR COMMERCIAL DRIVEWAY.

CITY OF ROCHESTER
DRIVEWAY
APRON
ISSUED 9-2-91 STANDARD
REVISED 3-1-18 DWG.NO.R608-5



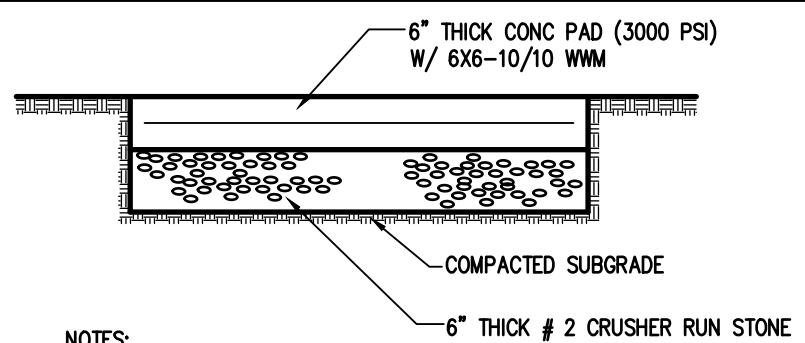
ALUMINUM FENCE DETAIL

N.T.S.



TYPICAL CONCRETE STEPS - SECTION

N.T.S.

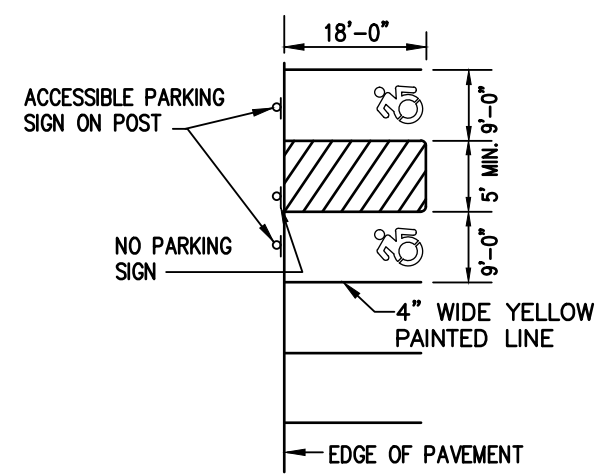


NOTES:

1. CONTROL JOINTS TO BE A MINIMUM OF 1" DEEP AT 10' INTERVALS OR IN THE CENTER OF SLABS BETWEEN 10 FEET TO 20 FEET AND WIDTH.
2. ALL EXPOSED CONCRETE SURFACE SHALL BE BROOM FINISHED.
3. ALL EXPOSED CONCRETE TO RECEIVE TWO COATS OF A COMBINATION CURING COMPOUND-SEALER SUCH AS "ACCUSEAL" OR "POLYCLEAR" OR APPROVED EQUAL.

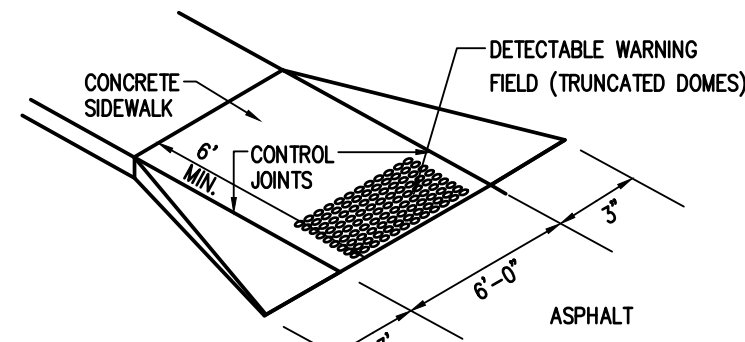
CONCRETE DUMPSTER/GENERATOR/
TRANSFORMER/BIKE RACK/BENCH PAD DETAIL

N.T.S.



PARKING STRIPING DETAIL

N.T.S.

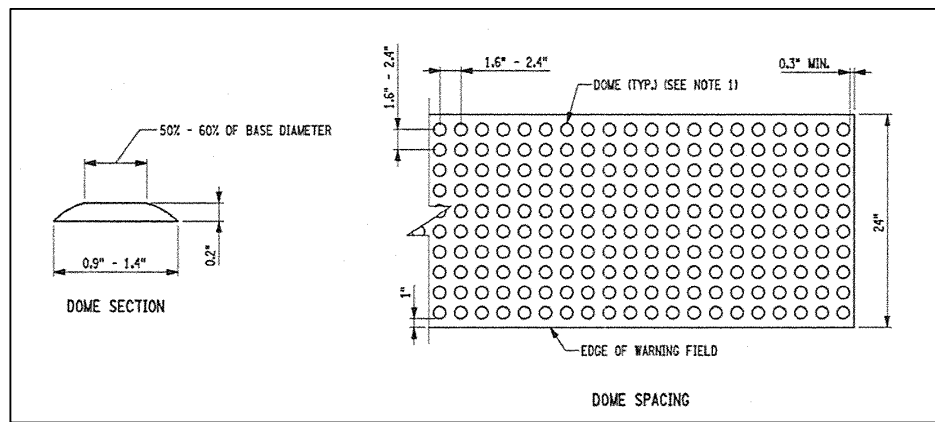


NOTES:

1. RAMPS SHALL BE BUILT AT A UNIFORM SLOPE NOT TO EXCEED 1:12.
2. THE SURFACE OF ALL SIDEWALK RAMPS IS TO BE STABLE, FIRM, AND SLIP-RESISTANT. (I.E. COARSE BROOM FINISH PERPENDICULAR TO THE RAMP SLOPE IS ACCEPTABLE).
3. DETECTABLE WARNING FIELDS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS PROVIDED ON NYS DOT STANDARD SHEET 608-5.

ACCESSIBLE RAMP WITH DETECTABLE WARNING FIELD DETAIL

N.T.S.

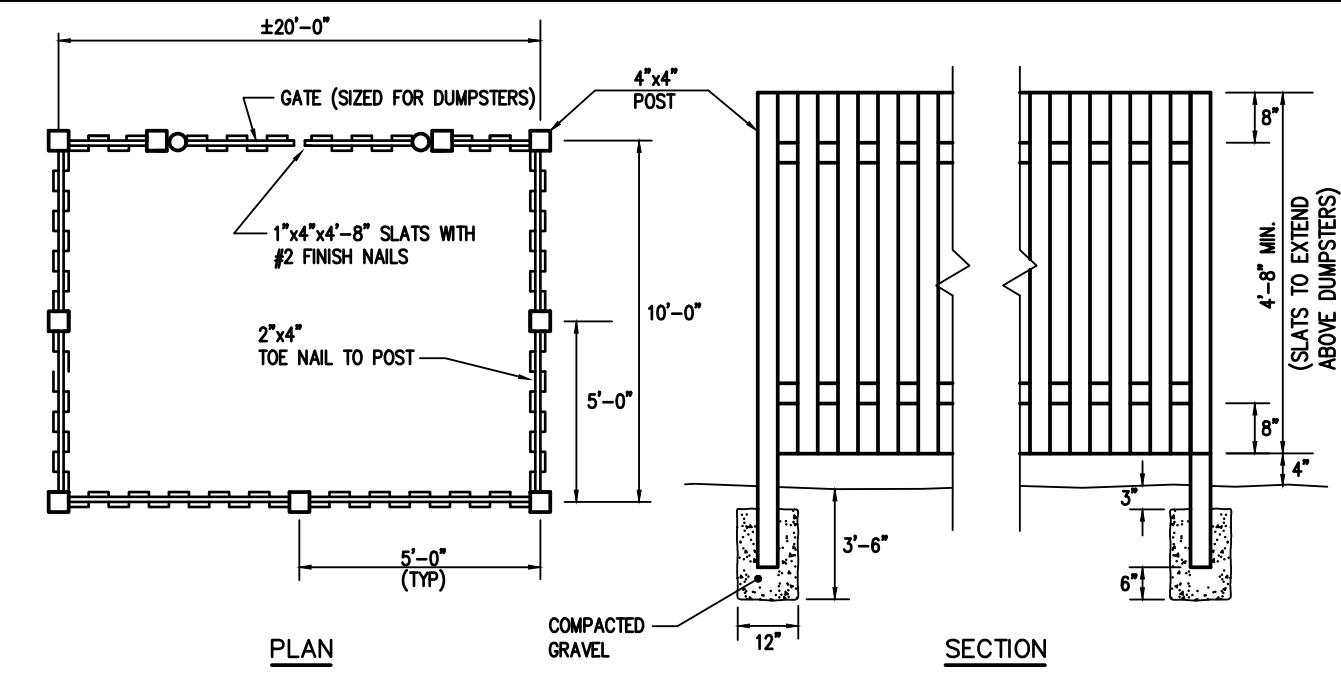


NOTE:

1. THE DETAILS PROVIDED ARE NOT DRAWN TO SCALE. THE QUANTITY OF DOMES DEPICTED ON THE DETECTABLE WARNING UNIT (THE DOMES AND THE ENTIRE 24" LEVEL SURFACE) IS FOR ILLUSTRATION ONLY.
2. THE SIZE OF THE DETECTABLE WARNING FIELD SHALL BE 24" IN THE DIRECTION OF TRAVEL AND SHALL EXTEND THE FULL WIDTH OF THE CURB RAMP OR FLUSH SURFACE, EXCLUSIVE SIDE FLARES.
3. THE ROWS OF DOMES SHALL BE ALIGNED TO BE PERPENDICULAR OR RADIAL TO THE GRADE BREAK BETWEEN THE RAMP LANDING OR CURB RAMP AND STREET.
4. THE DETECTABLE WARNING FIELD SHALL BE THE COLOR SPECIFIED IN THE CONTRACT DOCUMENTS OR MEET THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS.
5. DETECTABLE WARNINGS SHALL BE LOCATED SO THAT THE EDGE OR CORNER OF THE WARNING FIELD NEAREST TO THE ROADWAY IS 5" TO 9" FROM THE FRONT OF THE CURB OR THE ROADWAY EDGE (12" WHERE TRAVERSABLE CURB IS USED).
6. THE EDGE OF THE DETECTABLE WARNING FIELD NEAREST TO A RAILROAD CROSSING SHALL BE 6'-0" MIN. AND 15'-0" MAX FROM THE CENTERLINE OF THE NEAREST RAIL.

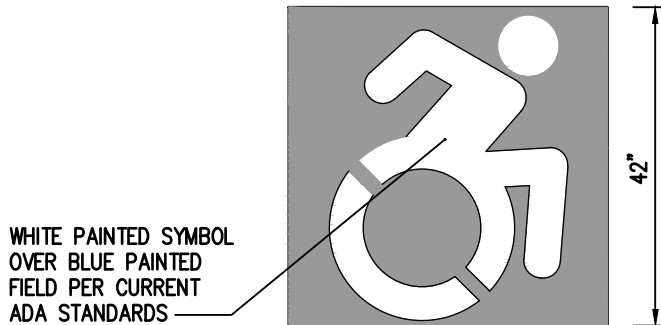
DETECTABLE WARNING FIELD DETAIL

N.T.S.



DUMSTER ENCLOSURE DETAIL

N.T.S.



NOTES

1. SIGN TO BE MOUNTED TO A 2" DIAM STEEL PIPE SET IN 3" DEEP BY 10" DIA. CONCRETE 3000 PSI. BASE, SET BELOW GRADE.
2. SIGN TO BE MOUNTED 6.0' FROM FINISHED GRADE TO BOTTOM OF SIGN.

ACCESSIBLE PARKING SIGN DETAIL

N.T.S.

Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
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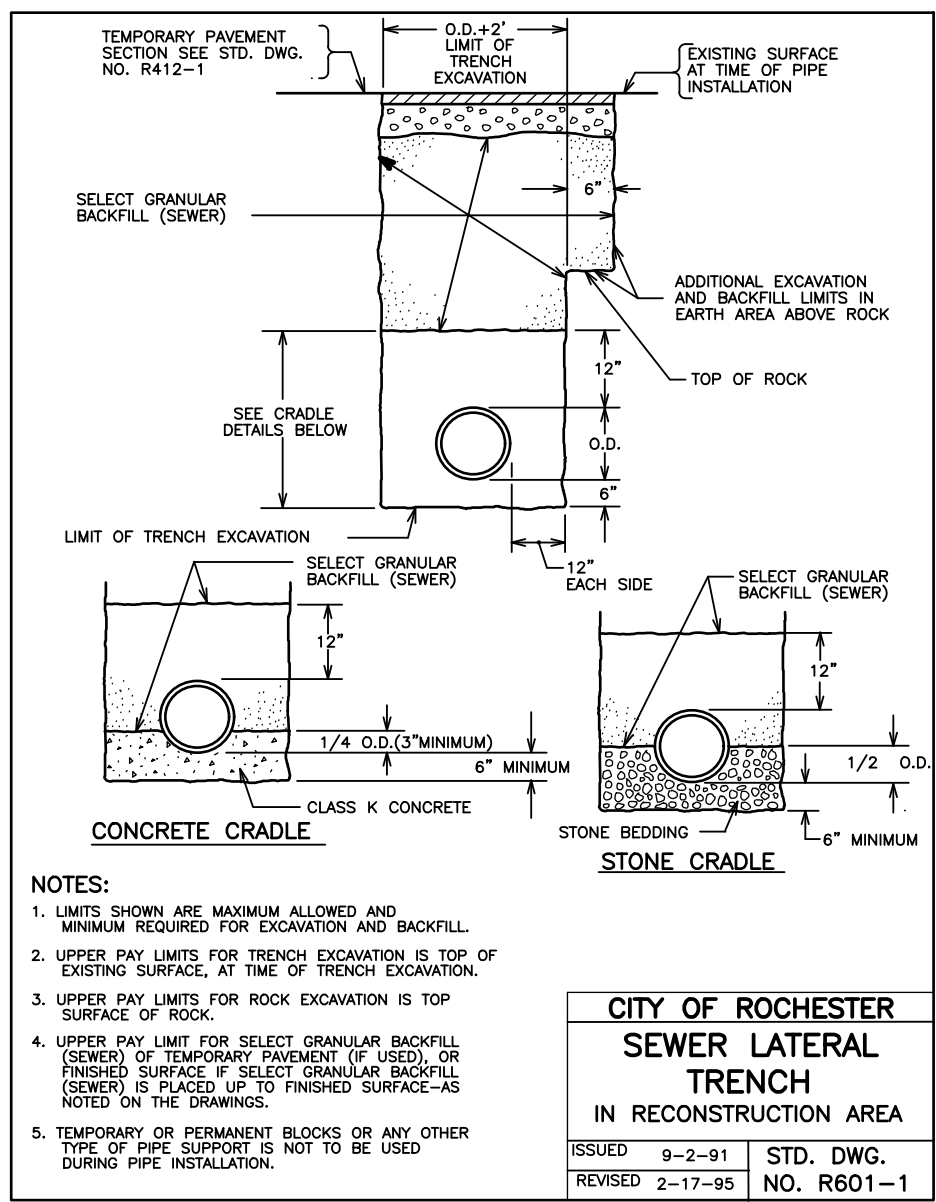
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BME ASSOCIATES
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NEW YORK, NY 14650
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ALTA VISTA AT ST. JOSEPH'S PARK
CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE
ALTA VISTA HOUSING, LLC
1000 W. MONROE ST.
ROCHESTER, NY 14621
PROJECT LOCATION CLIENT
DRAWING TITLE

PROJECT MANAGER
JL SWEDROCK
PROJECT ENGINEER
RR SPURR
DRAWN BY
VL SCHLAGETER
SCALE DATE ISSUED
N.T.S. DECEMBER 07, 2021
PROJECT NO.
2744
DRAWING NO.
12
(SHEET 1 of 5)

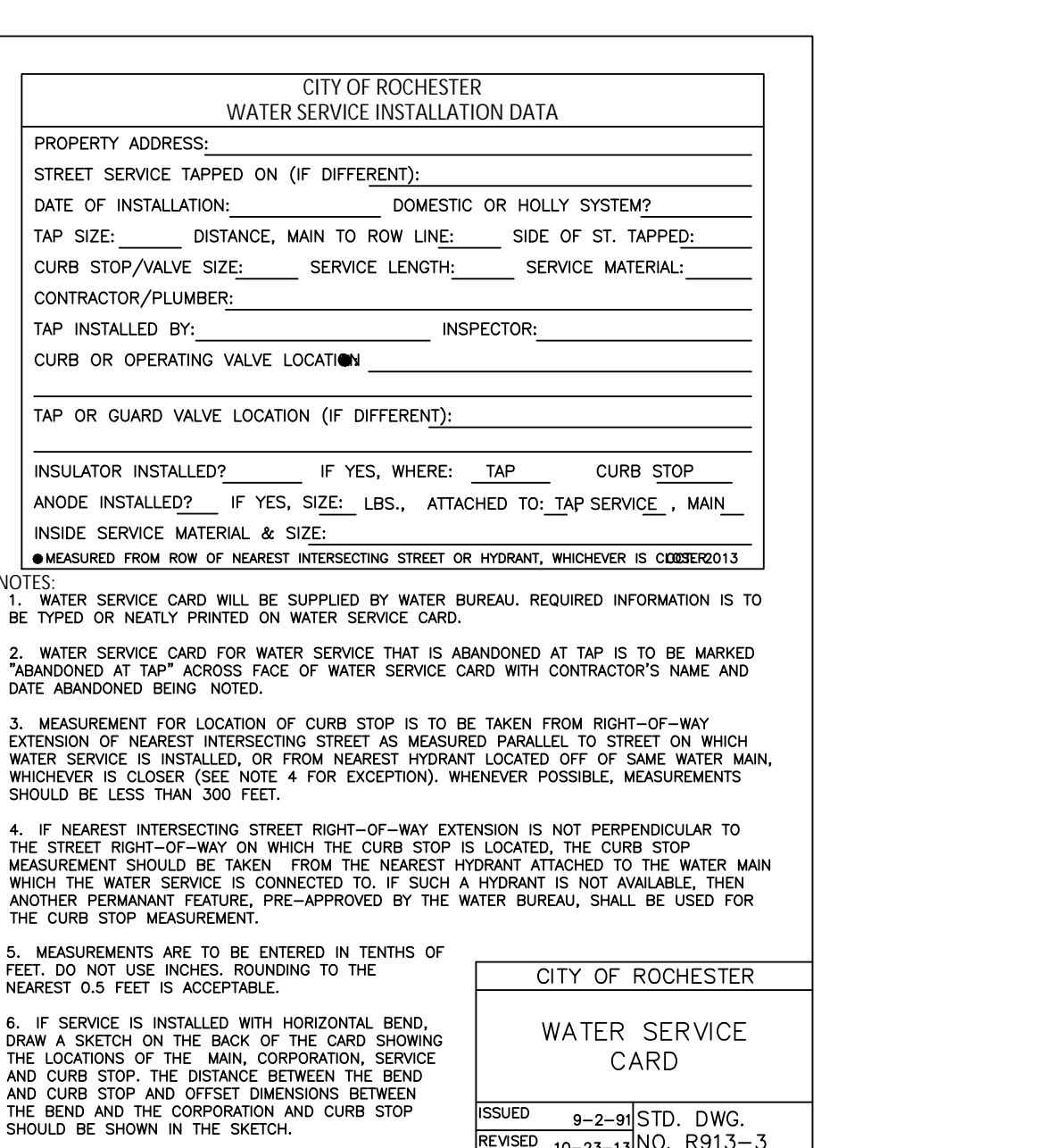
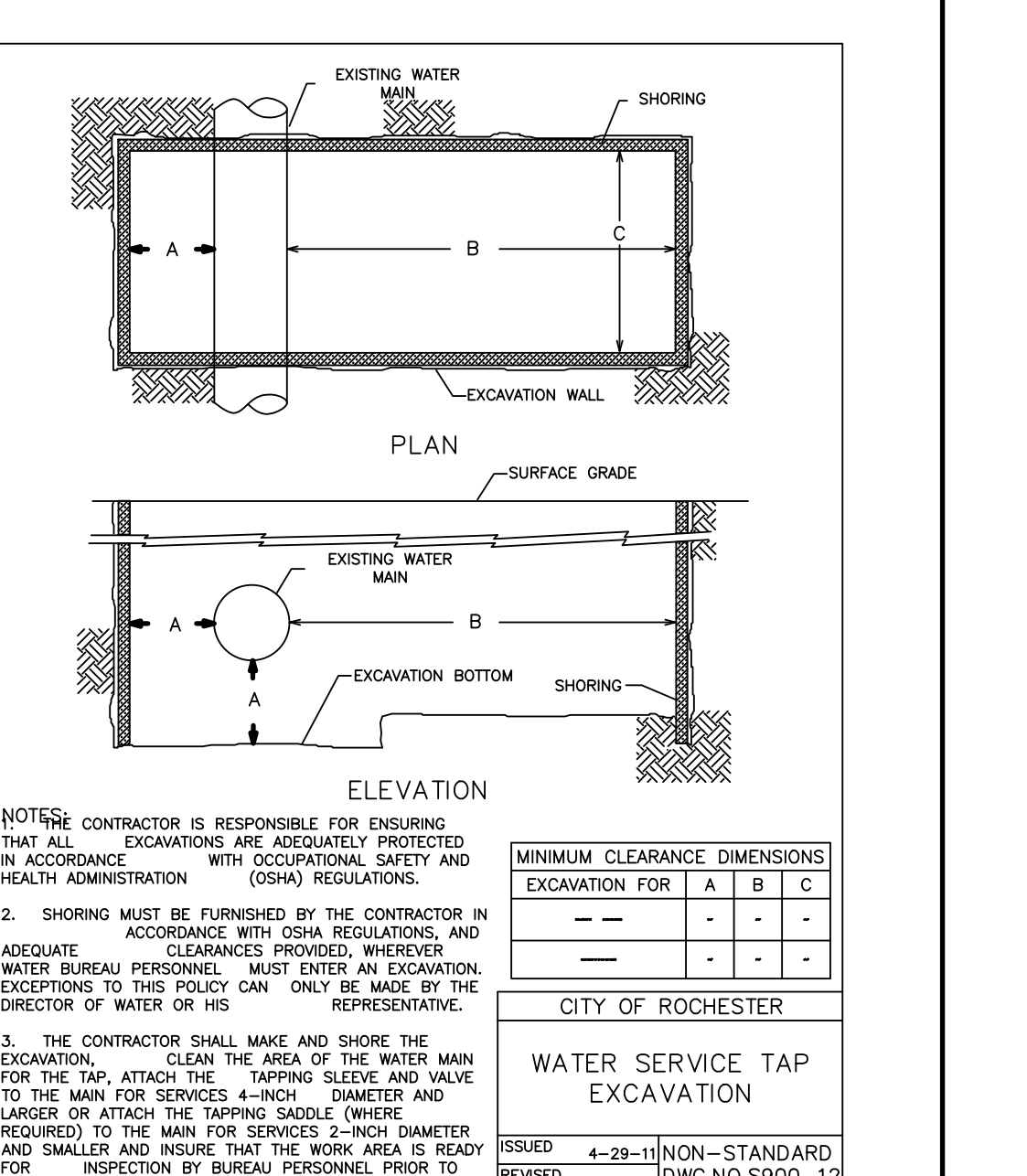
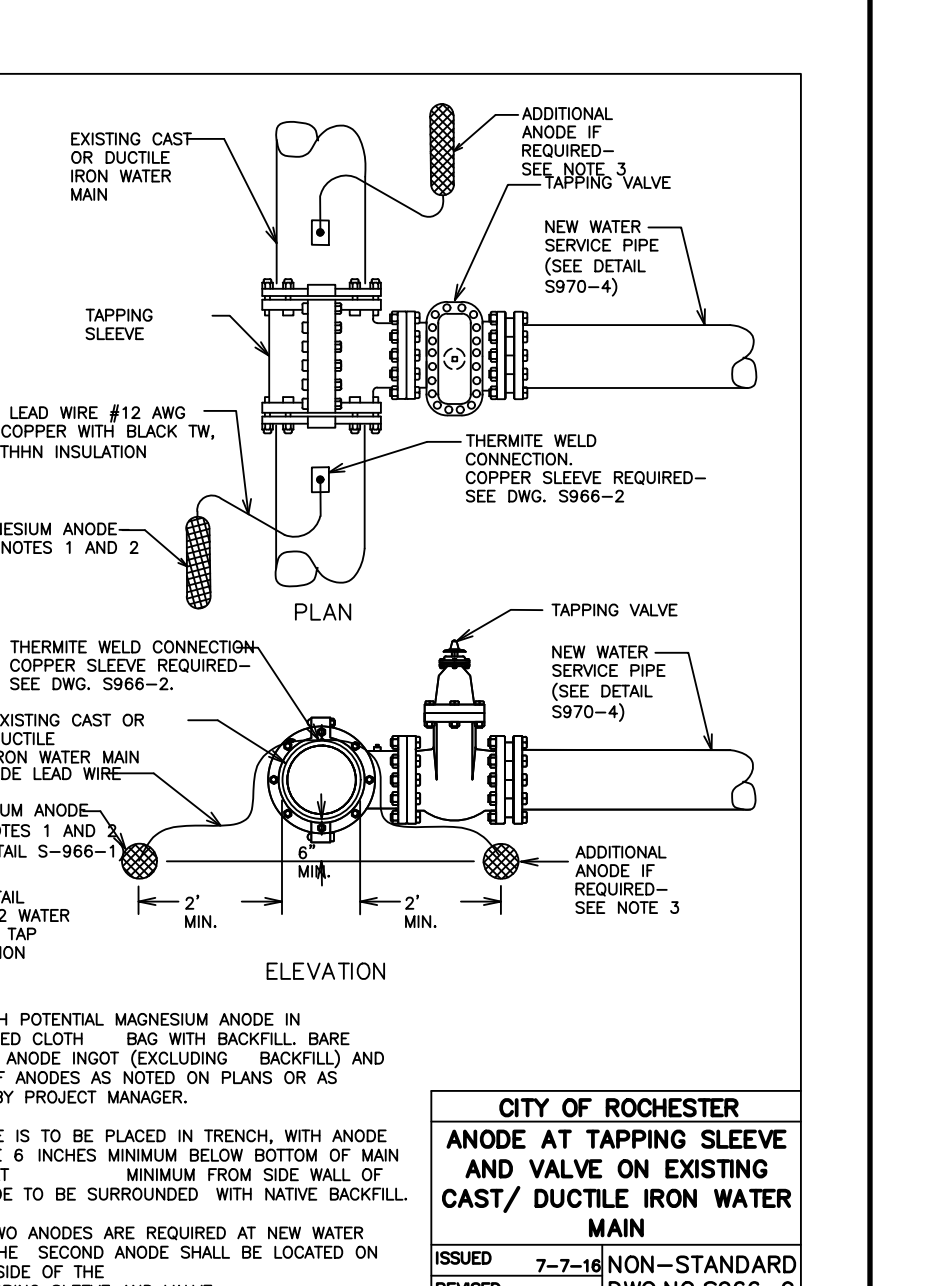
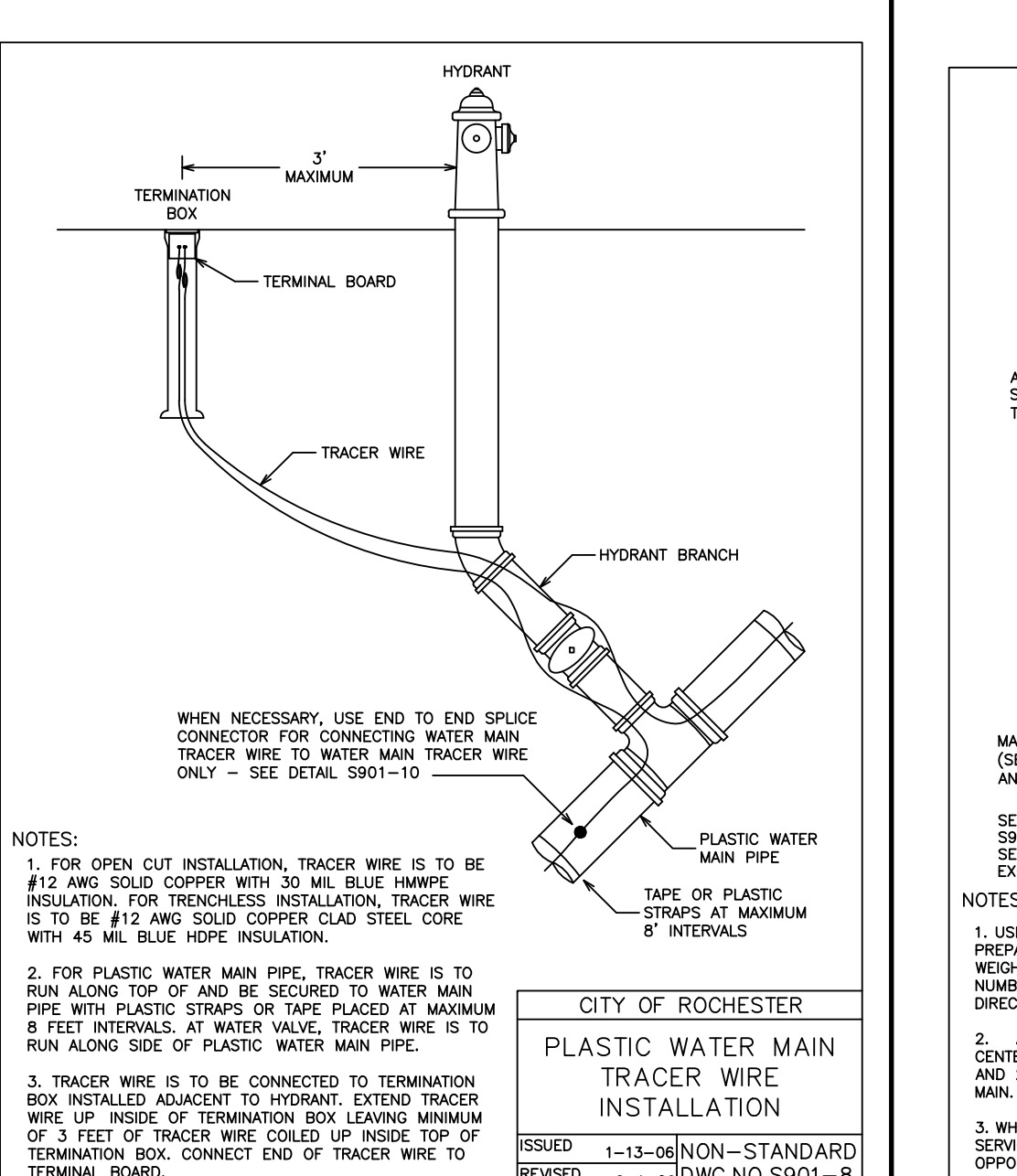
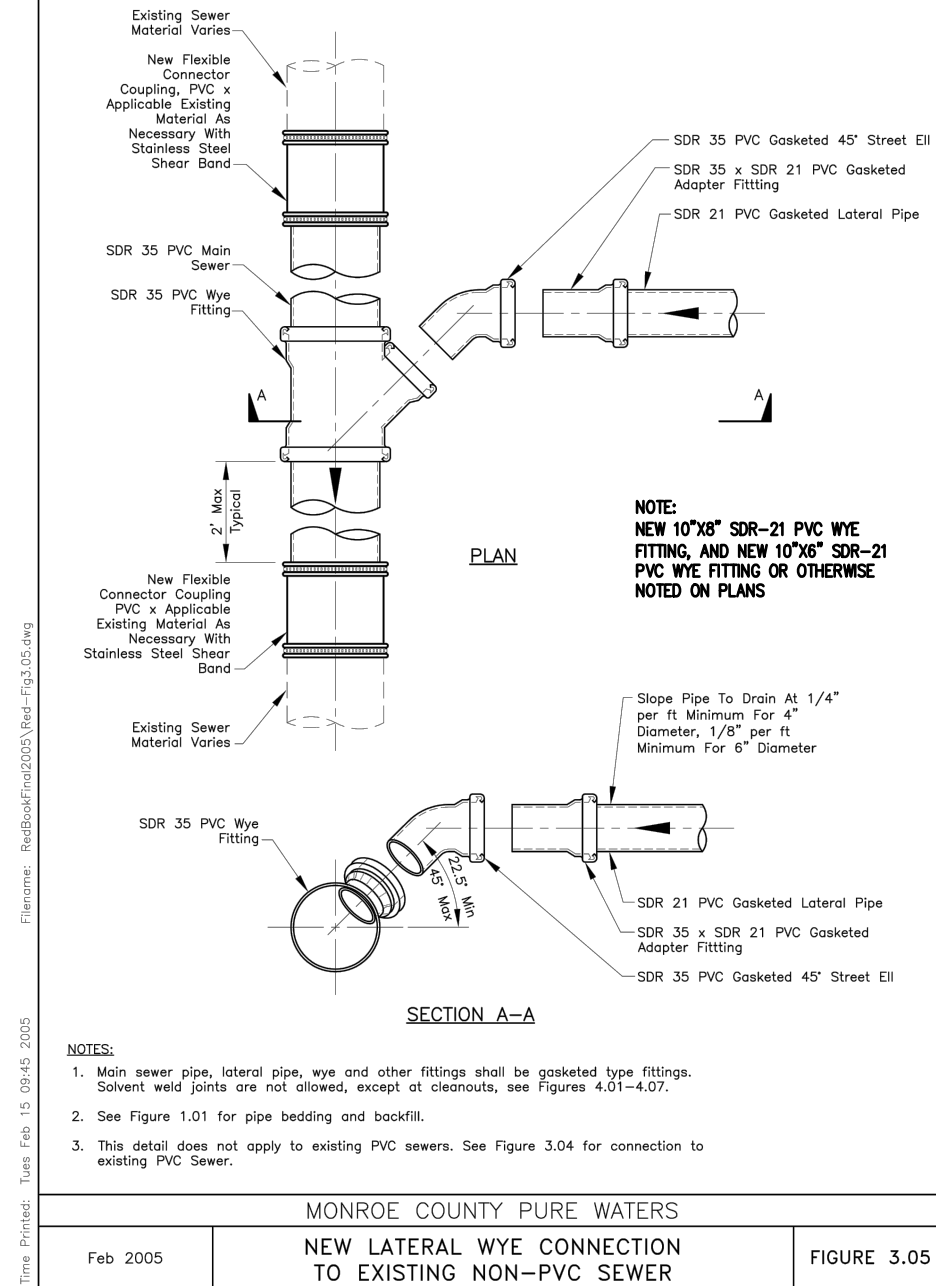
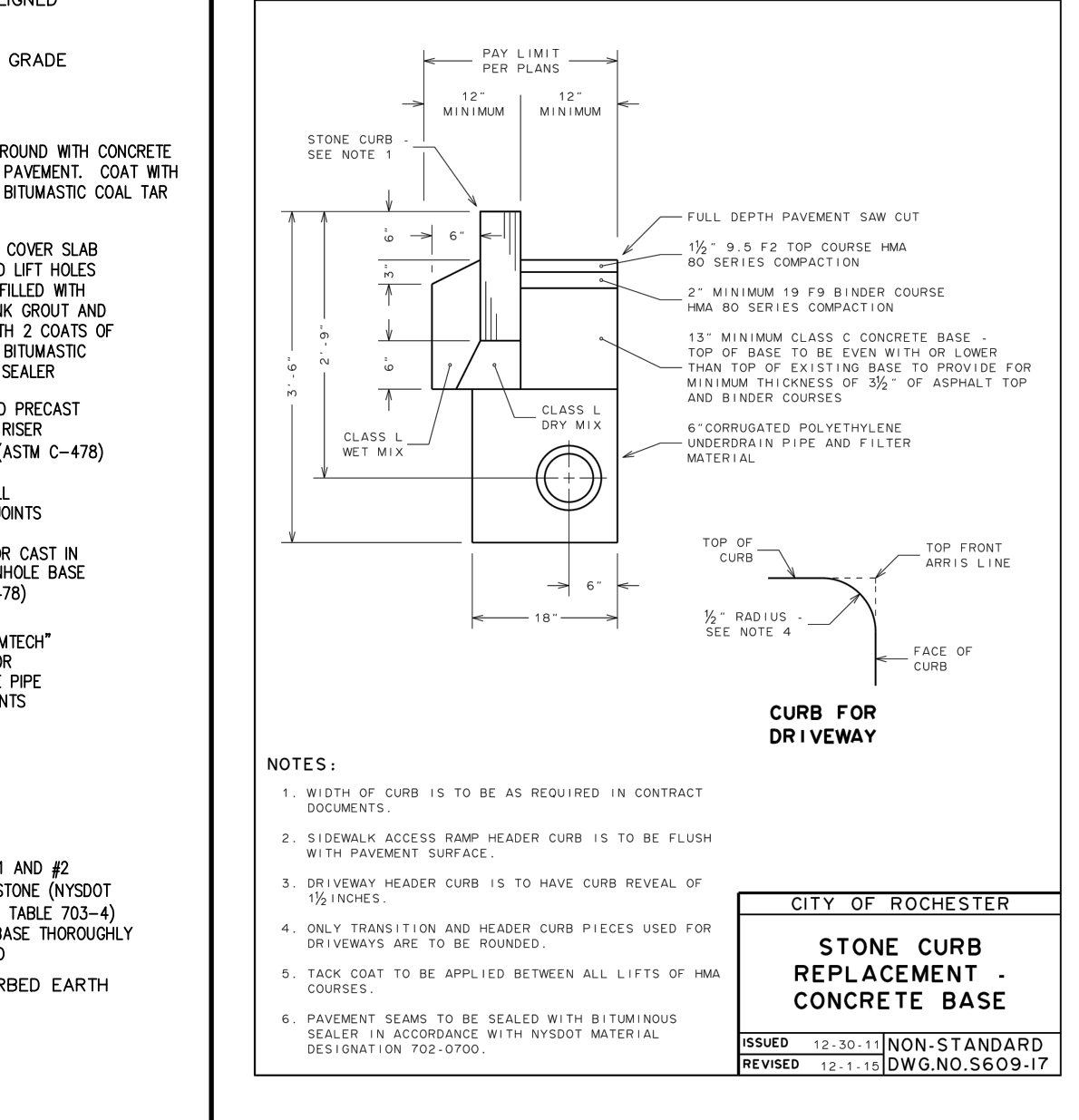
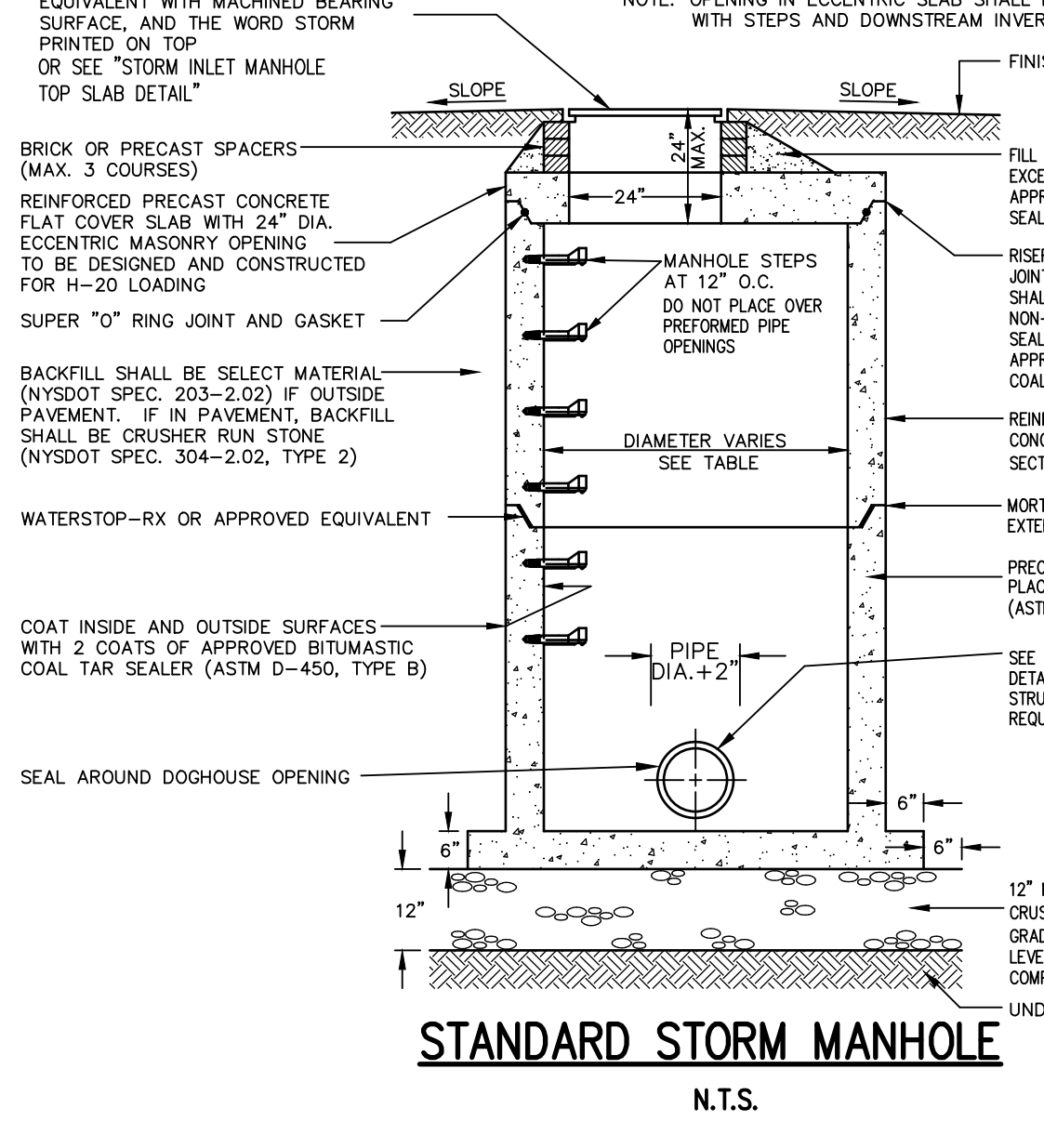
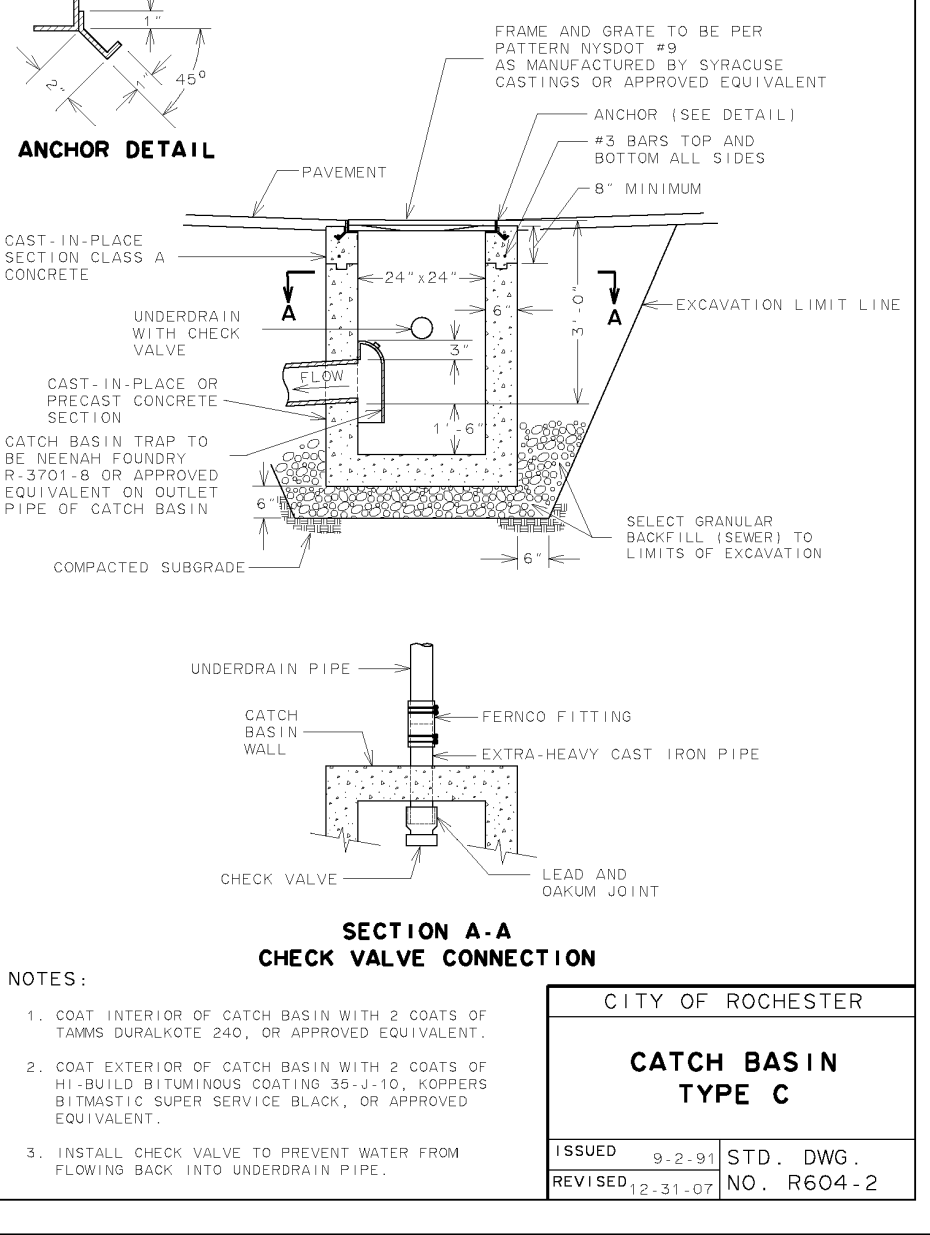
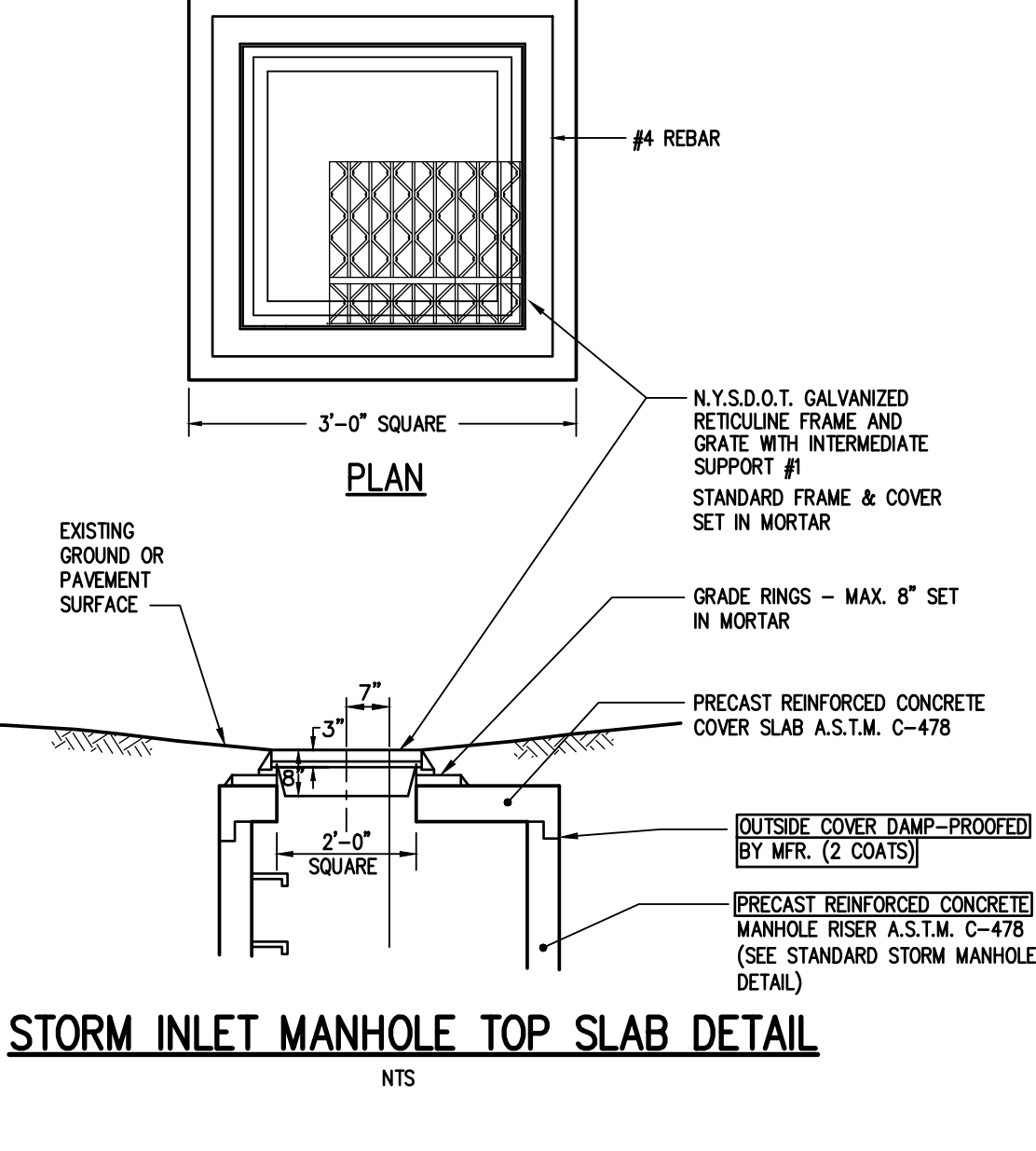
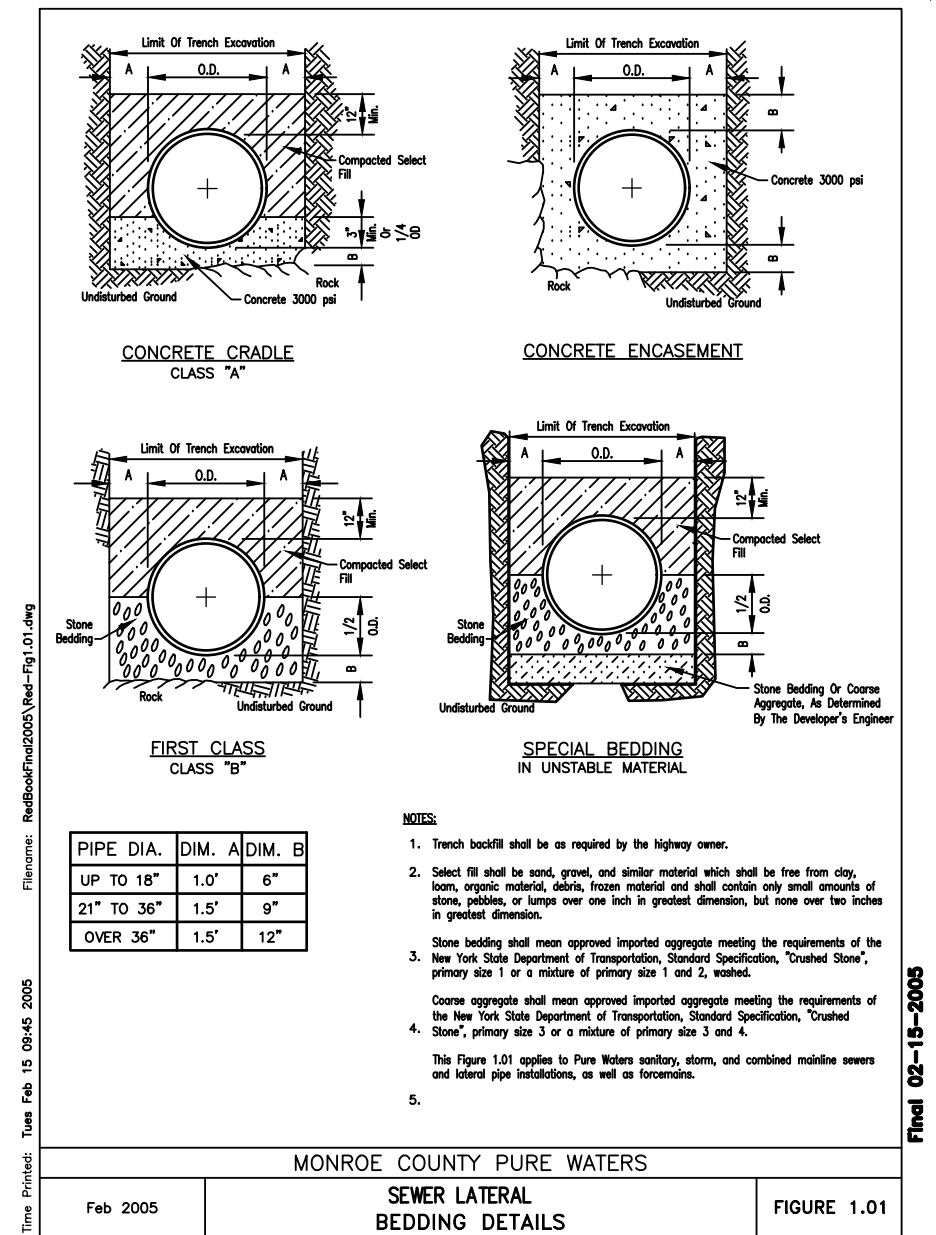
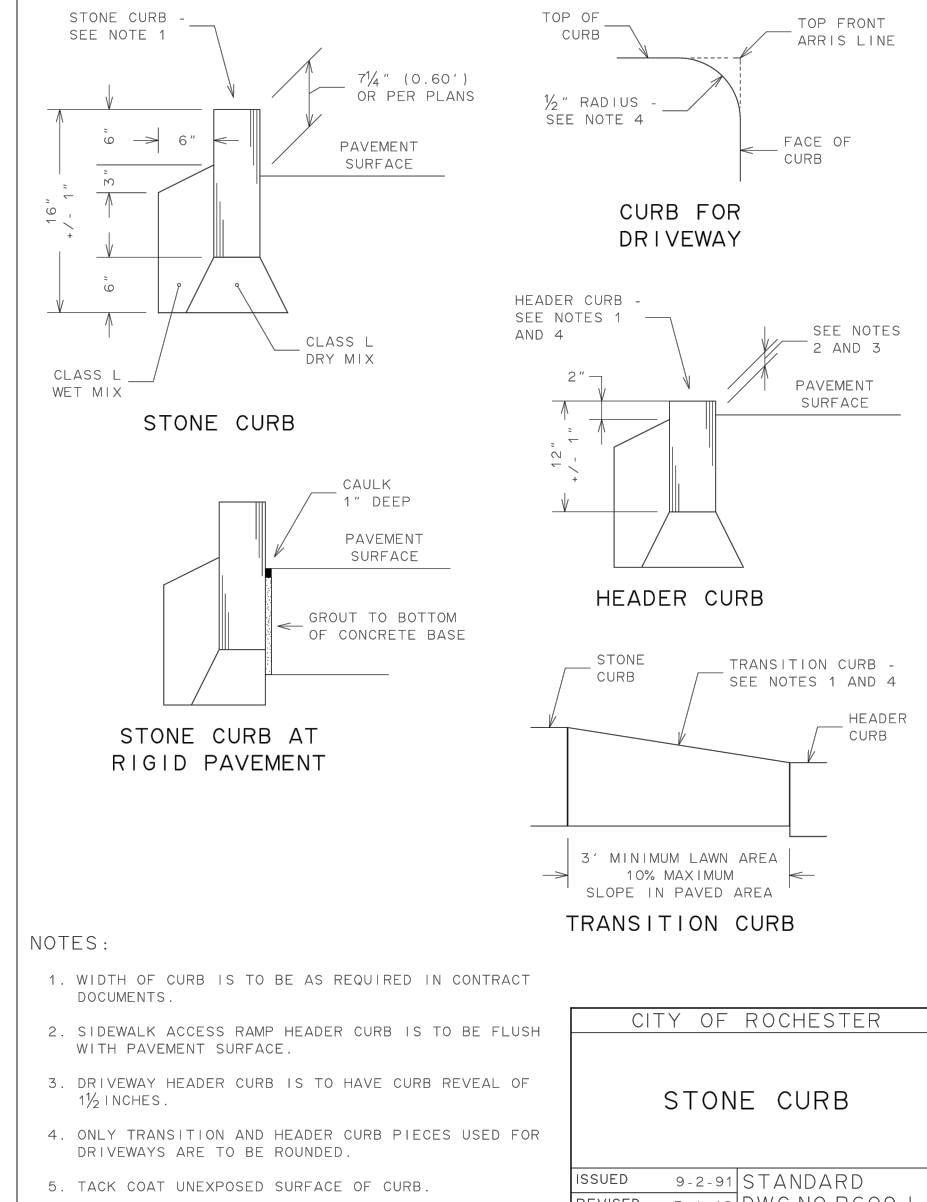
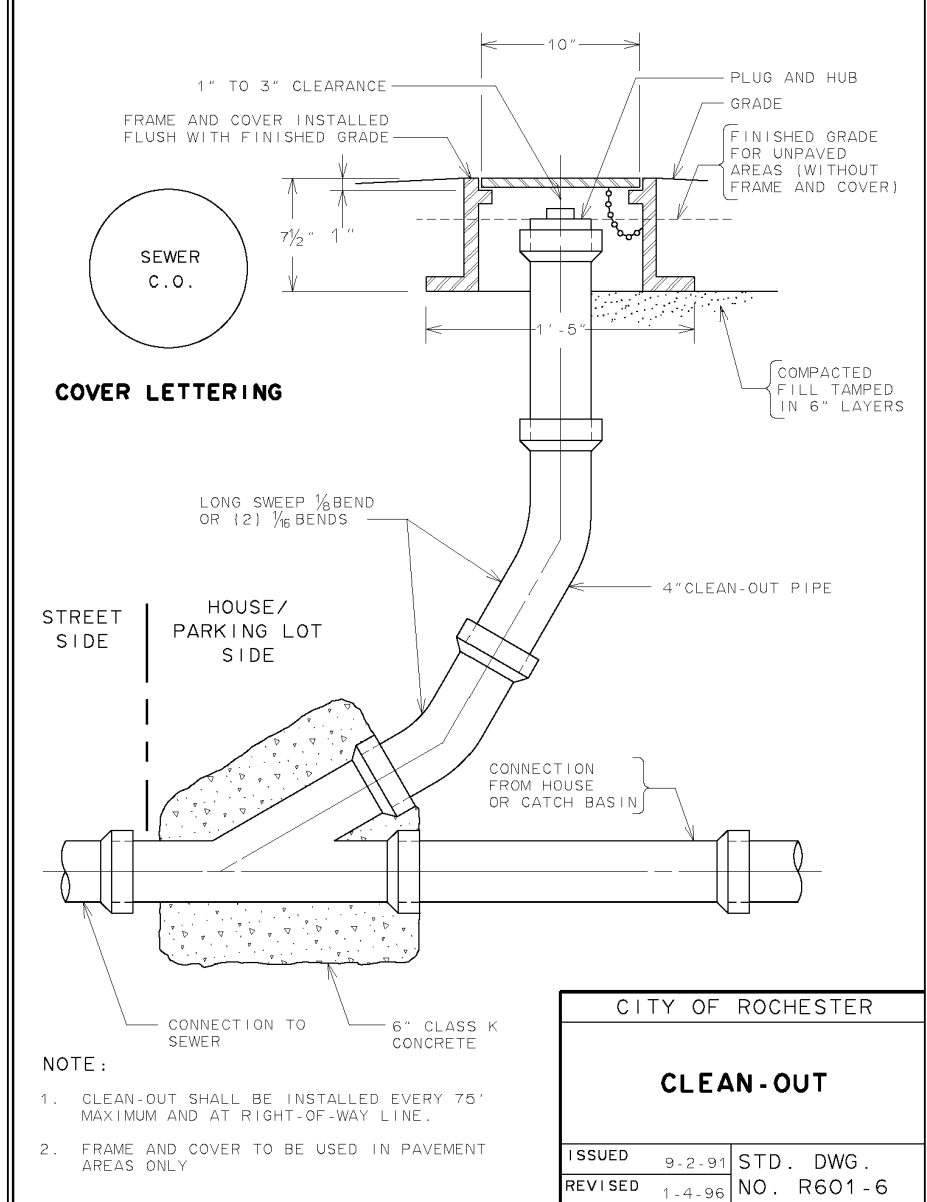
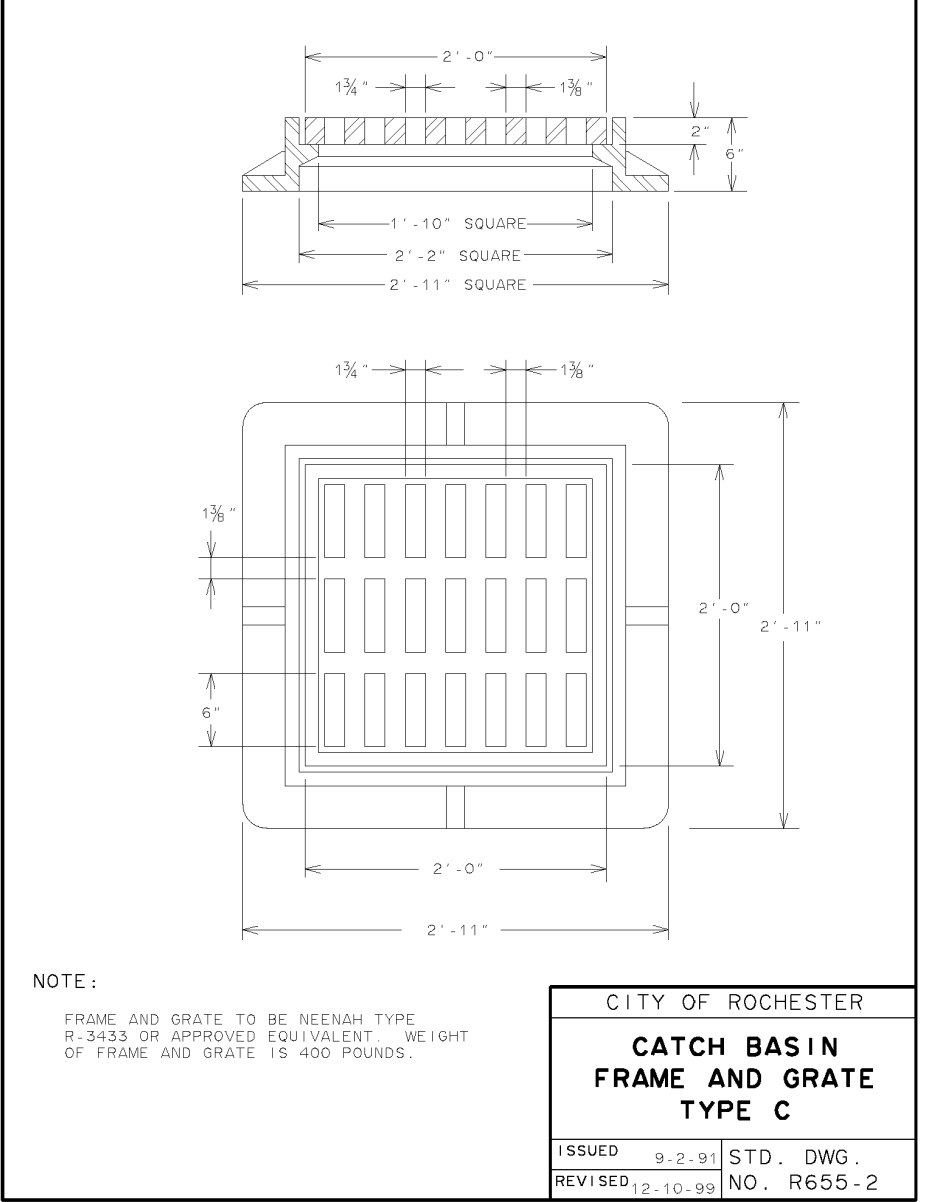


ELEMENT TOLERANCES			
ELEMENT	DESIGN AND FIELD LAYOUT	ACCESSIBILITY GUIDELINES AND WORK ACCEPTANCE	
SIDEWALK CROSS SLOPE	1.50% MAXIMUM	2% MAXIMUM	
TURNING SPACE CROSS SLOPE	1.50% MAXIMUM	2% MAXIMUM	
ACCESS RAMP CROSS SLOPE	1.50% MAXIMUM	2% MAXIMUM	
BLENDED TRANSITION CROSS SLOPE	1.50% MAXIMUM	2% MAXIMUM	
SIDE FLARE CROSS SLOPE (ENCROACHMENT INTO PAVED AREA)	9.50% MAXIMUM	10% MAXIMUM	
SIDE FLARE CROSS SLOPE (ABUTTS LAWN AREA)	20% MAXIMUM	20% MAXIMUM	
ACCESS RAMP GRADE (RUNNING SLOPE)	7.50% MAXIMUM	8.50% MAXIMUM	
BLENDED TRANSITION GRADE (RUNNING SLOPE)	4.50% MAXIMUM	5% MAXIMUM	

NOTES:

- ACCESS ELEMENTS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH PROPOSED GUIDELINES FOR PEDESTRIAN FACILITIES IN THE PUBLIC RIGHT-OF-WAY (PROW). FOLLOWING NOTES REITERATE OR AMEND REQUIREMENTS OUTLINED IN PROPOSED GUIDELINES FOR PEDESTRIAN FACILITIES IN THE PUBLIC RIGHT-OF-WAY (PROW) AND NYSDOT HIGHWAY DESIGN MANUAL - CHAPTER 19 PEDESTRIAN FACILITY DESIGN. SEE BOTH DOCUMENTS FOR FURTHER INFORMATION, CLARIFICATION OR GUIDANCE AS NEEDED.
- DESIGN TOLERANCES FOR DIMENSIONS, GRADES (RUNNING SLOPE) AND FIELD LAYOUT OF ACCESSIBLE ELEMENTS ARE MINIMUM AND MAXIMUM LIMITS FOR DESIGN AND FIELD LAYOUT OF ACCESSIBLE ELEMENTS. ACCESSIBLE ELEMENTS ARE NOT TO BE CONSTRUCTED WITH VALUES OUTSIDE LIMITS PER ACCESSIBILITY GUIDELINES AND FOR WORK ACCEPTANCE.
- JOINTS BETWEEN SIDEWALK FLARE, ACCESS RAMP, BLENDED TRANSITIONS, TURNING SPACES AND STREETS ARE TO BE FLUSH AND FREE FROM ABRUPT VERTICAL SEPARATIONS GREATER THAN 1/4 INCH. VERTICAL CHANGES BETWEEN 1/4 INCH AND 1/2 INCH ARE TO BE REVEALED ACROSS ENTIRE JOINT WITH STANDARD BEVEL SLOPE OF 1:3, BUT NO STEEPER THAN 1:2. VERTICAL SEPARATIONS GREATER THAN 1/2 INCH ARE UNACCEPTABLE, REQUIRING TOTAL REPLACEMENT.
- AT STREET CORNERS WITH DUAL PEDESTRIAN STREET CROSSINGS, SEPARATE ACCESS RAMP OR BLENDED TRANSITIONS ARE TO BE PROVIDED FOR EACH PEDESTRIAN STREET CROSSING, ORIENTED IN DIRECTION OF PEDESTRIAN TRAVEL. WHERE EXISTING CONDITIONS CANNOT BE OVERCOME TO ACCOMMODATE SEPARATE ACCESS RAMP OR BLENDED TRANSITION, SINGLE BI-DIRECTIONAL ACCESS RAMP OR BLENDED TRANSITION MAY BE PERMITTED THAT IS ORIENTED TO SERVE BOTH PEDESTRIAN STREET CROSSINGS.
- DETECTABLE WARNING SURFACE IS TO PROVIDE LIGHT OR DARK OR LIGHT CONTRAST WITH SURROUNDING SURFACE. DEFAULT COLOR OF DETECTABLE WARNING SURFACE IS #3038 TRAFFIC YELLOW. OTHER ACCEPTABLE COLORS FOR USE IN CONCRETE AREAS ARE #2010 RED BROWN AND #2010 DARK CUMBER GRAY. IN ASPHALT OR OTHER SIMILAR DARK SURFACE AREAS #2010 LIGHT GRAY AND #2010 INSIGNIA WHITE, OR APPROVED EQUIVALENTS. COLORS ARE TO BE IN ACCORDANCE WITH FEDERAL STANDARD 595C.
- TRUNCATED DOME ROWS ARE TO BE ALIGNED PERPENDICULAR OR RADIAL TO LOWER GRADE BREAK ON ACCESSIBLE CONNECTIONS WITH GRADE (RUNNING SLOPE) OF 5% OR GREATER. WHERE TRUNCATED DOMES ARE ARRANGED RADIALLY TRUNCATED DOMES MAY VARY IN DIAMETER AND CENTER-TO-CENTER SPACING. WHERE GRADE (RUNNING SLOPE) IS LESS THAN 5%, ORIENTATION IS LESS CRITICAL AND TRUNCATED DOMES MAY DIFFER FROM PERPENDICULAR OR RADIAL ALIGNMENT TO LOWER GRADE BREAK.

CITY OF ROCHESTER
ACCESSIBILITY GUIDELINES
ISSUED 7-1-17 NON-STANDARD DWG. NO. S608-42
REVISED 12-1-19



Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way if an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation 'Altered by' followed by his signature and the date of such alteration, and a specific description of the alteration."

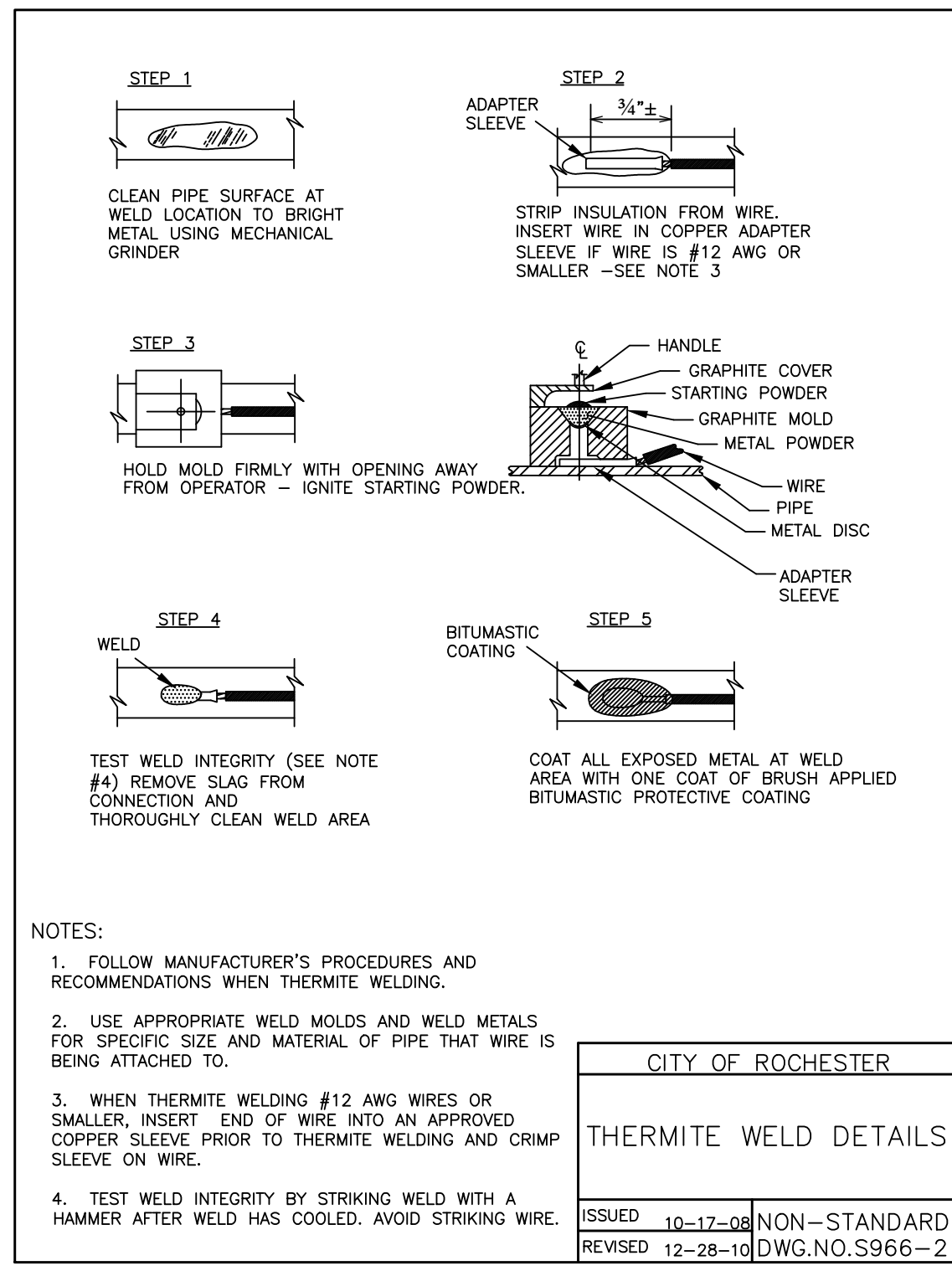
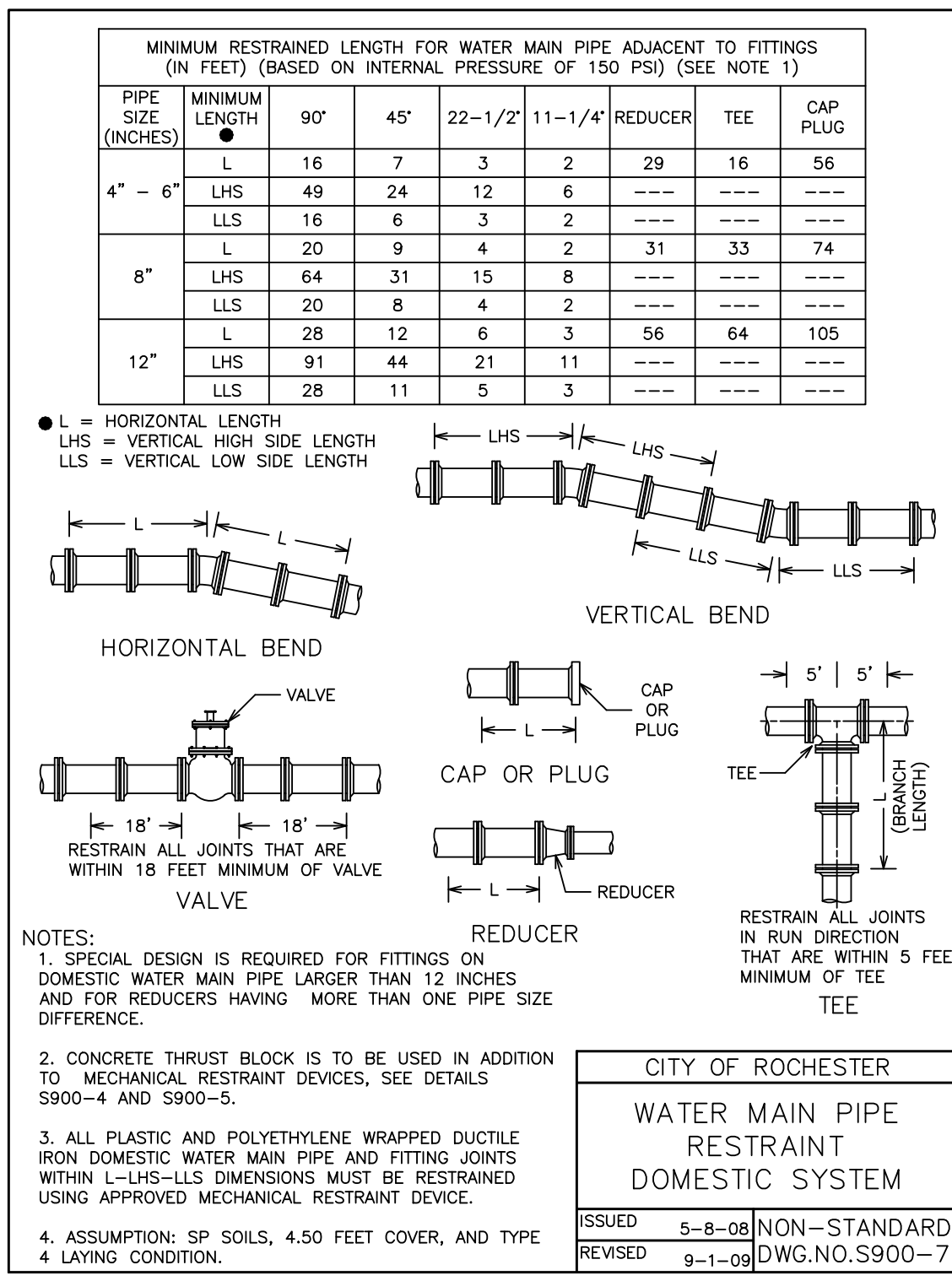
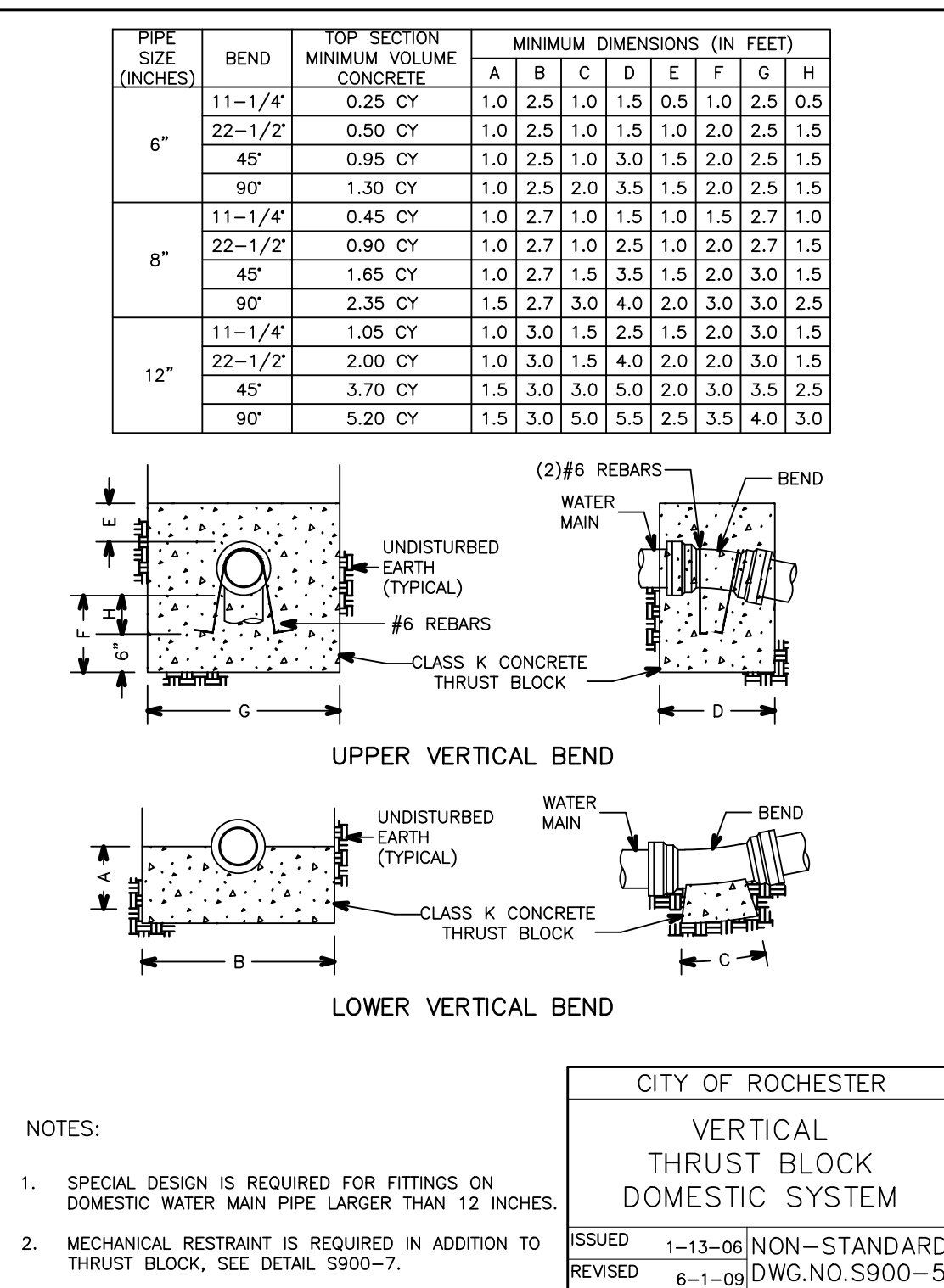
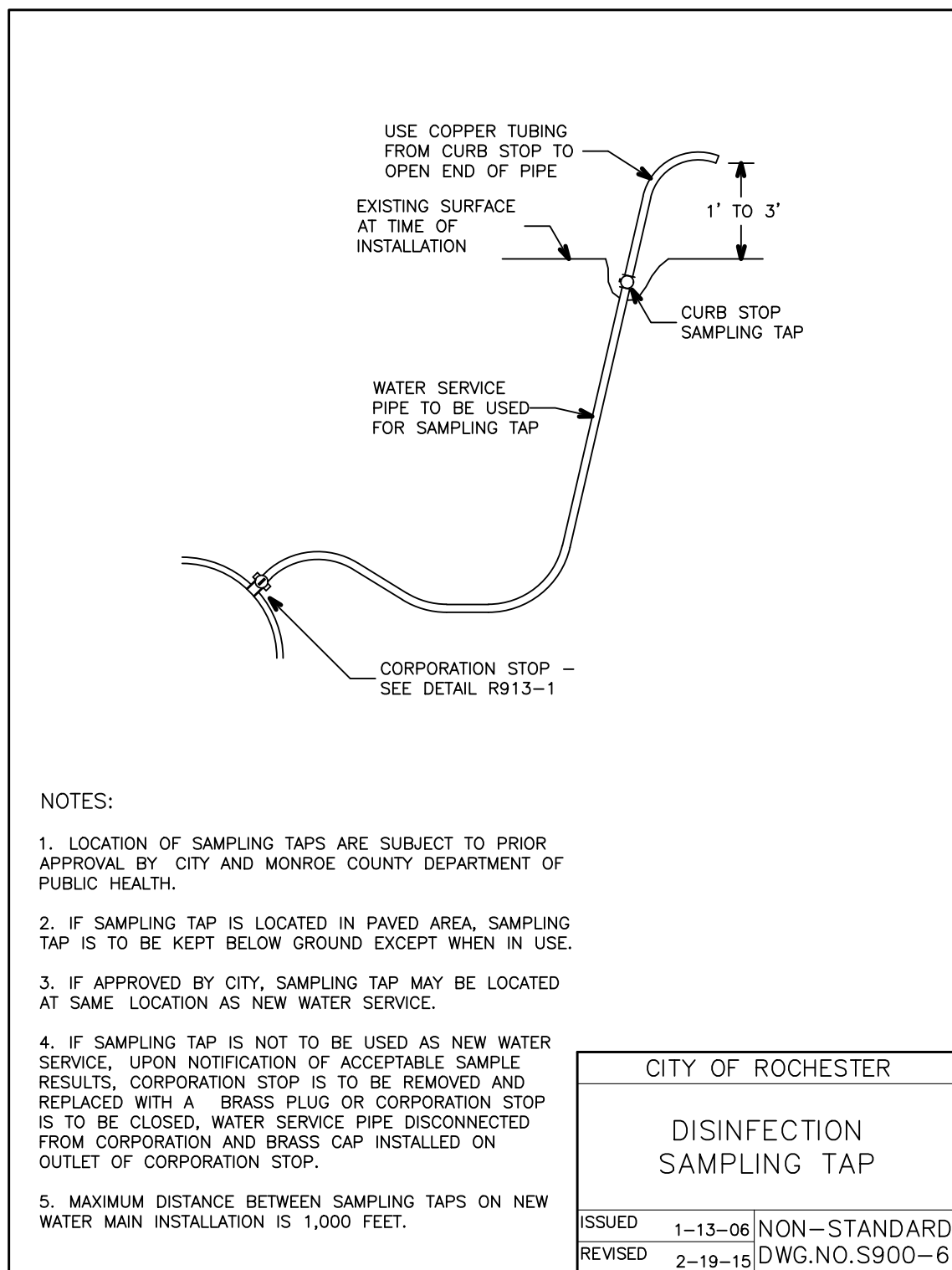
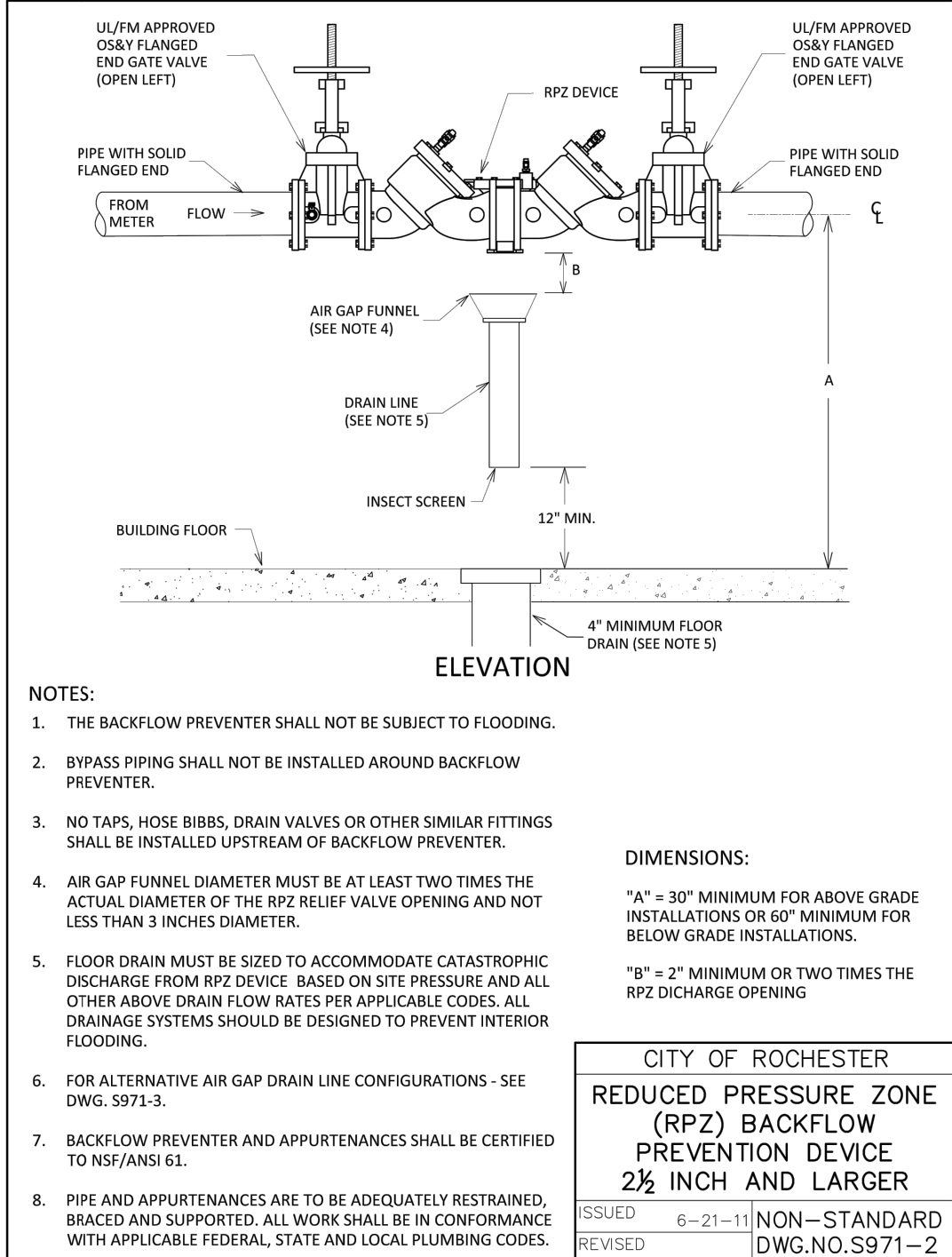
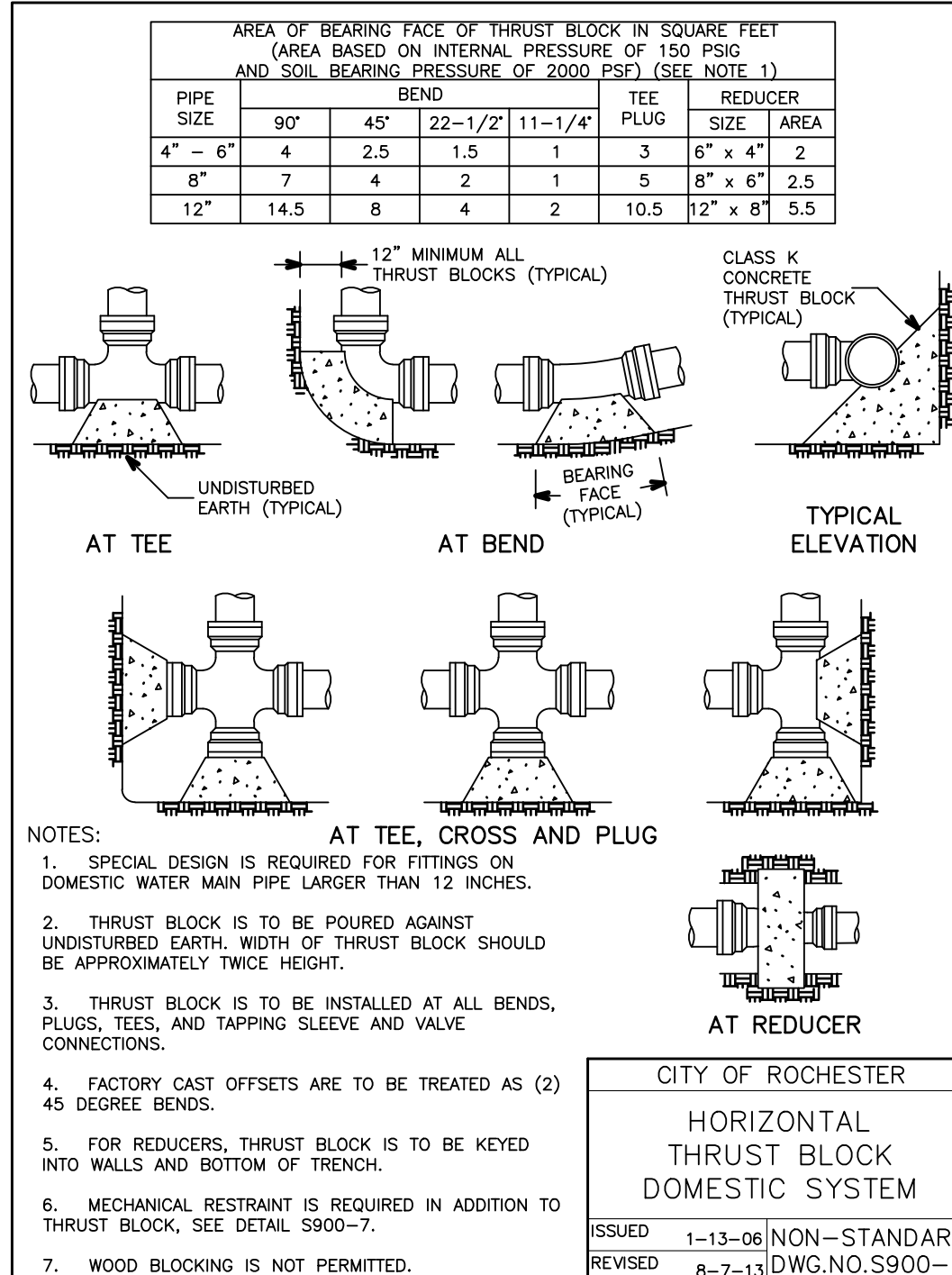
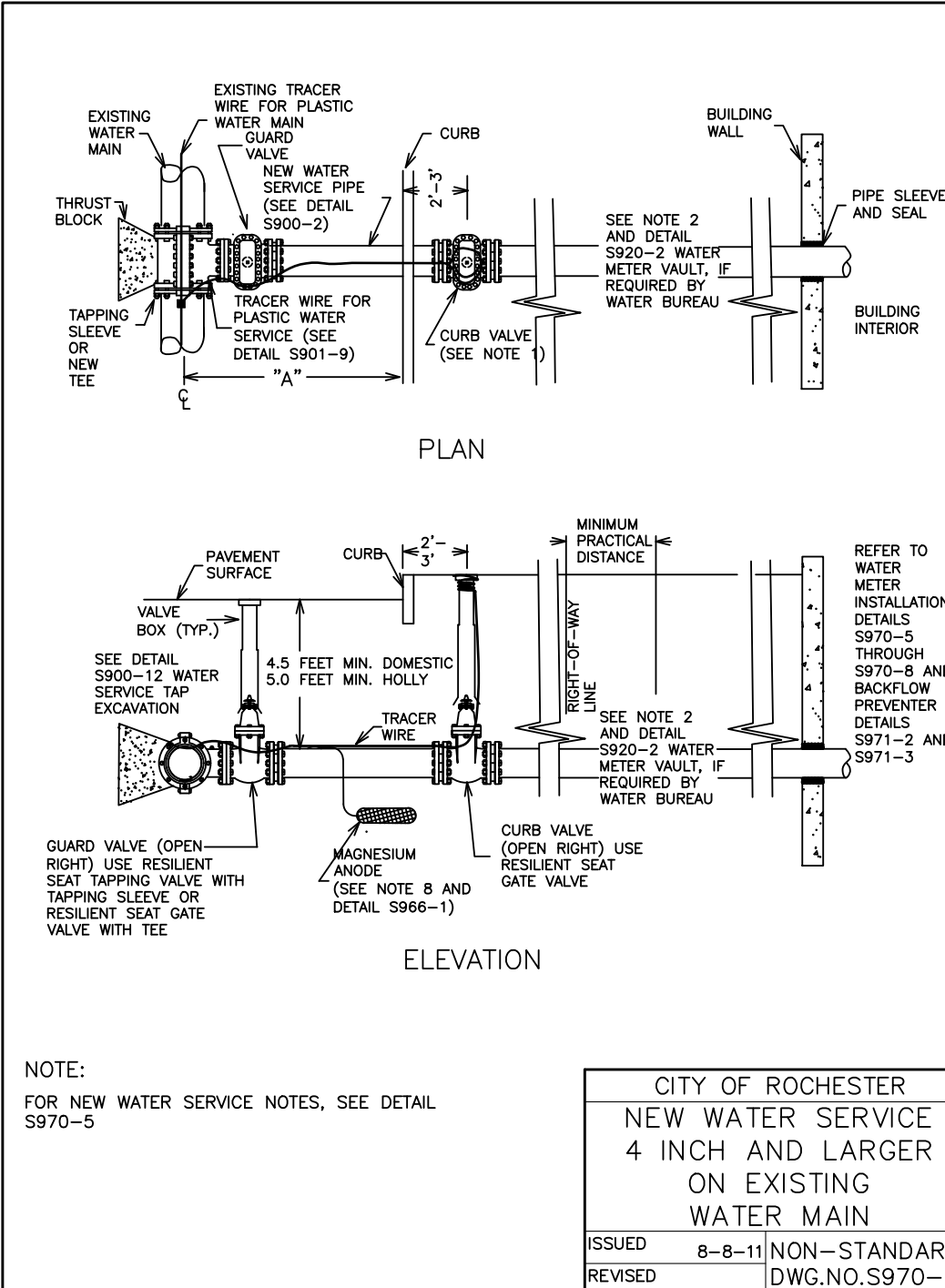
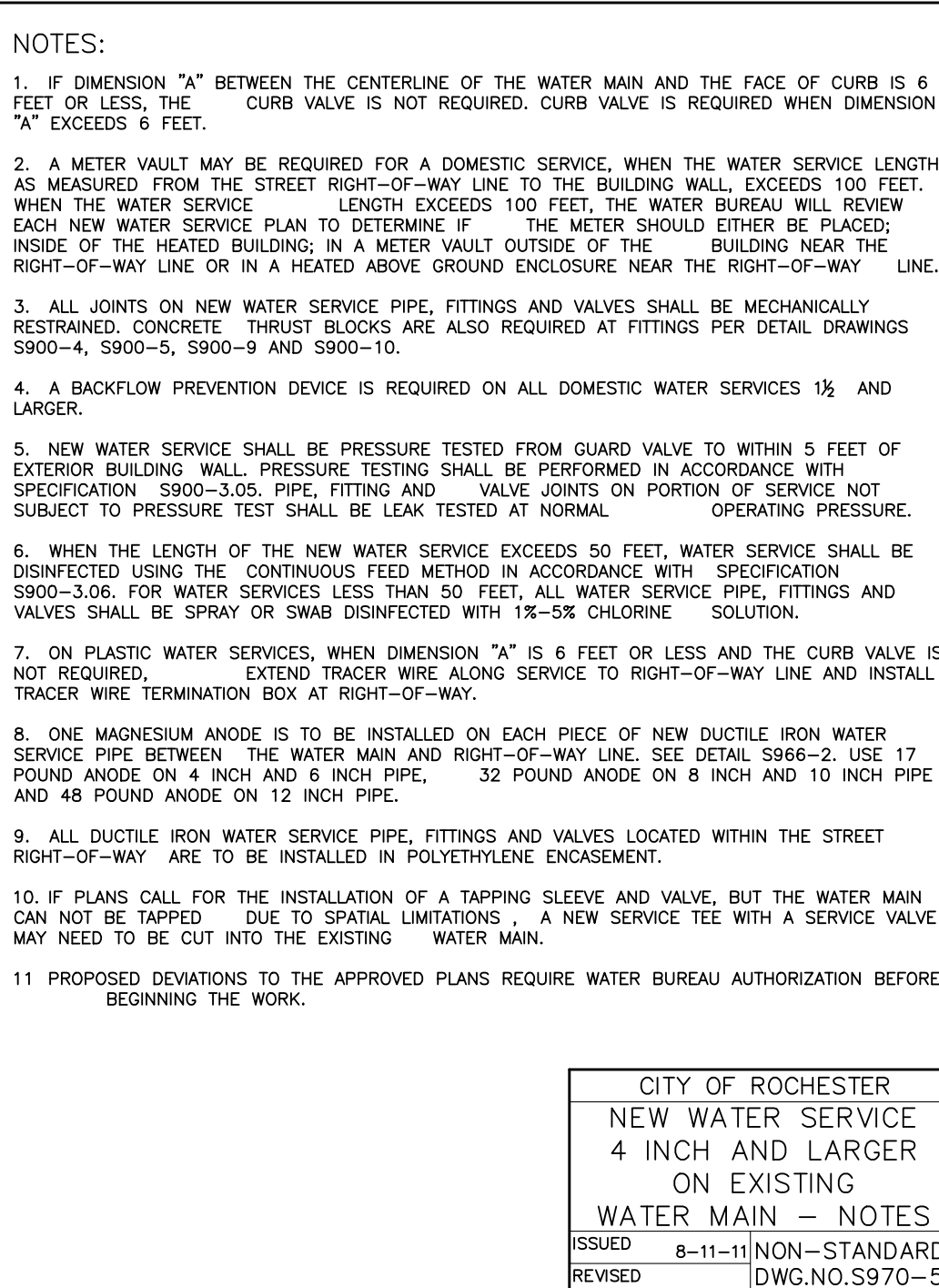
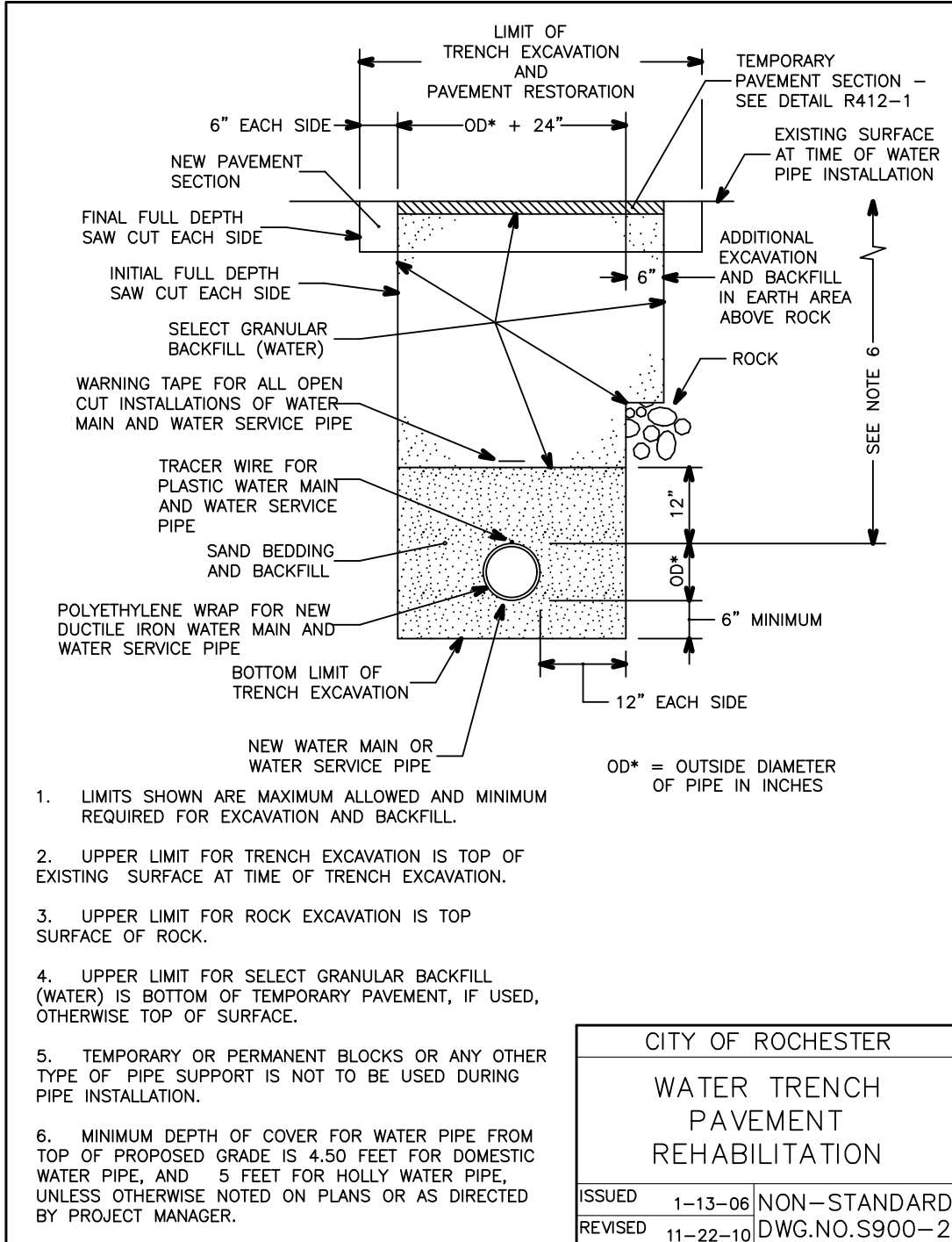
REVISIONS	DATE	BY
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6		
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2		
1		

BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
10 LIFT BRIDGE LANE EAST
ROCHESTER, NY 14650
WWW.BME-CC.COM
PHONE 585-577-7369
FAX 585-577-7369



ALTA VISTA AT ST. JOSEPH'S PARK
CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE
PROJECT LOCATION CLIENT
ALTA VISTA HOLDING LLC
1000 W. WATKINS ST.
ROCHESTER, NY 14621
FINAL
DETAIL SHEET
DRAWING TITLE

PROJECT MANAGER
J. SWEDROCK
PROJECT ENGINEER
RR. SPURR
DRAWN BY
V. SCHLAGETER
SCALE
N.T.S.
DATE ISSUED
DECEMBER 07, 2021
PROJECT NO.
2744
DRAWING NO.
13
(SHEET 2 of 5)



DATE	REVISIONS	BY
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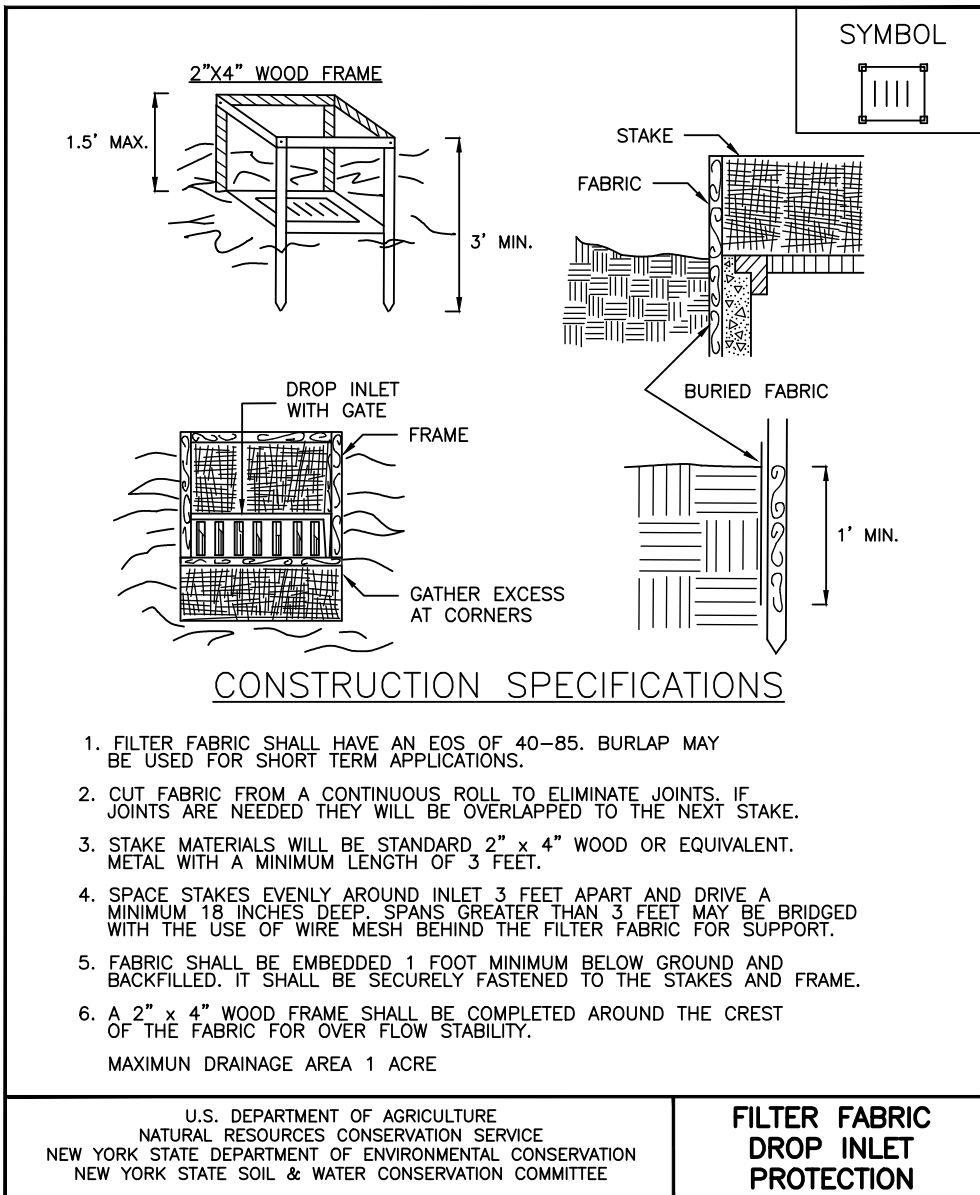
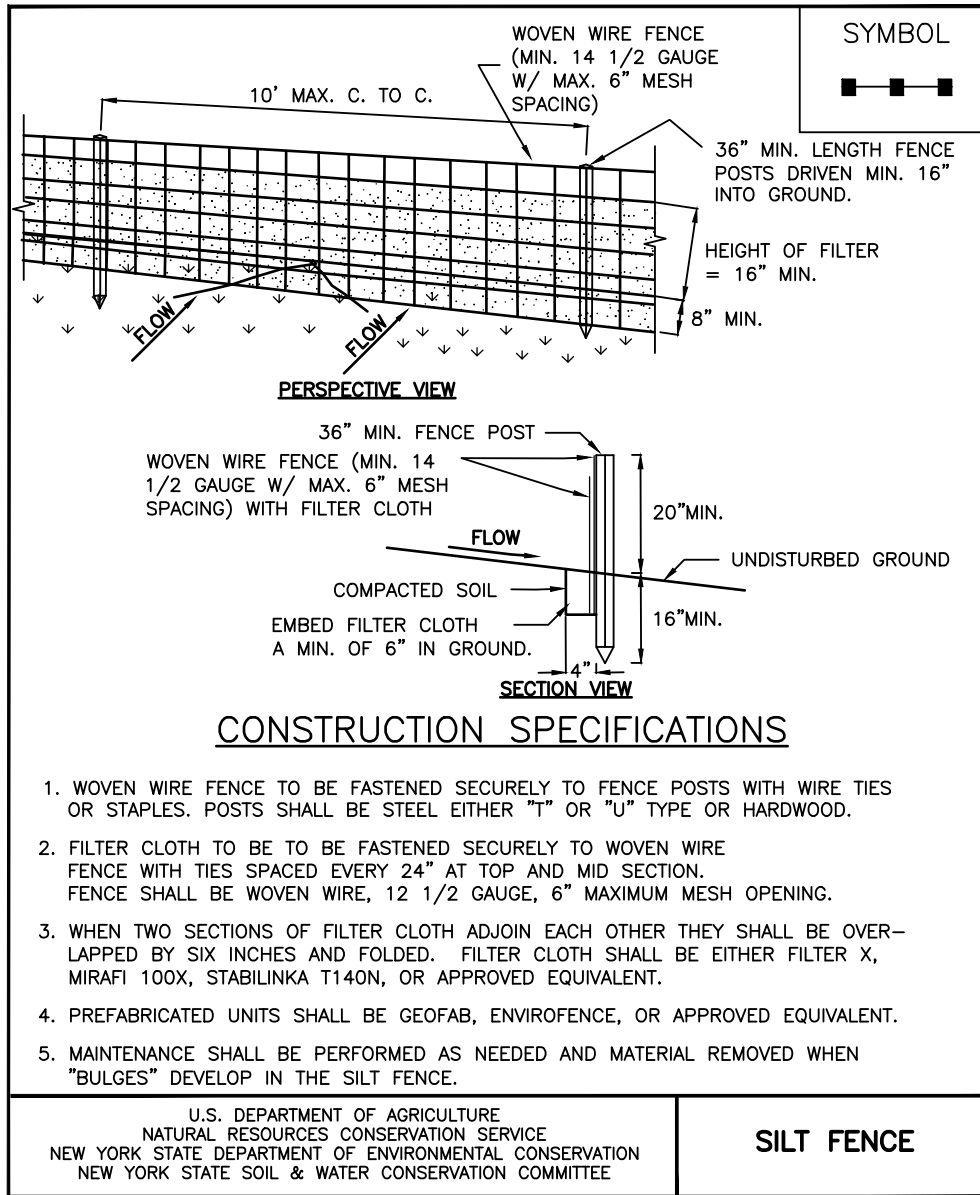
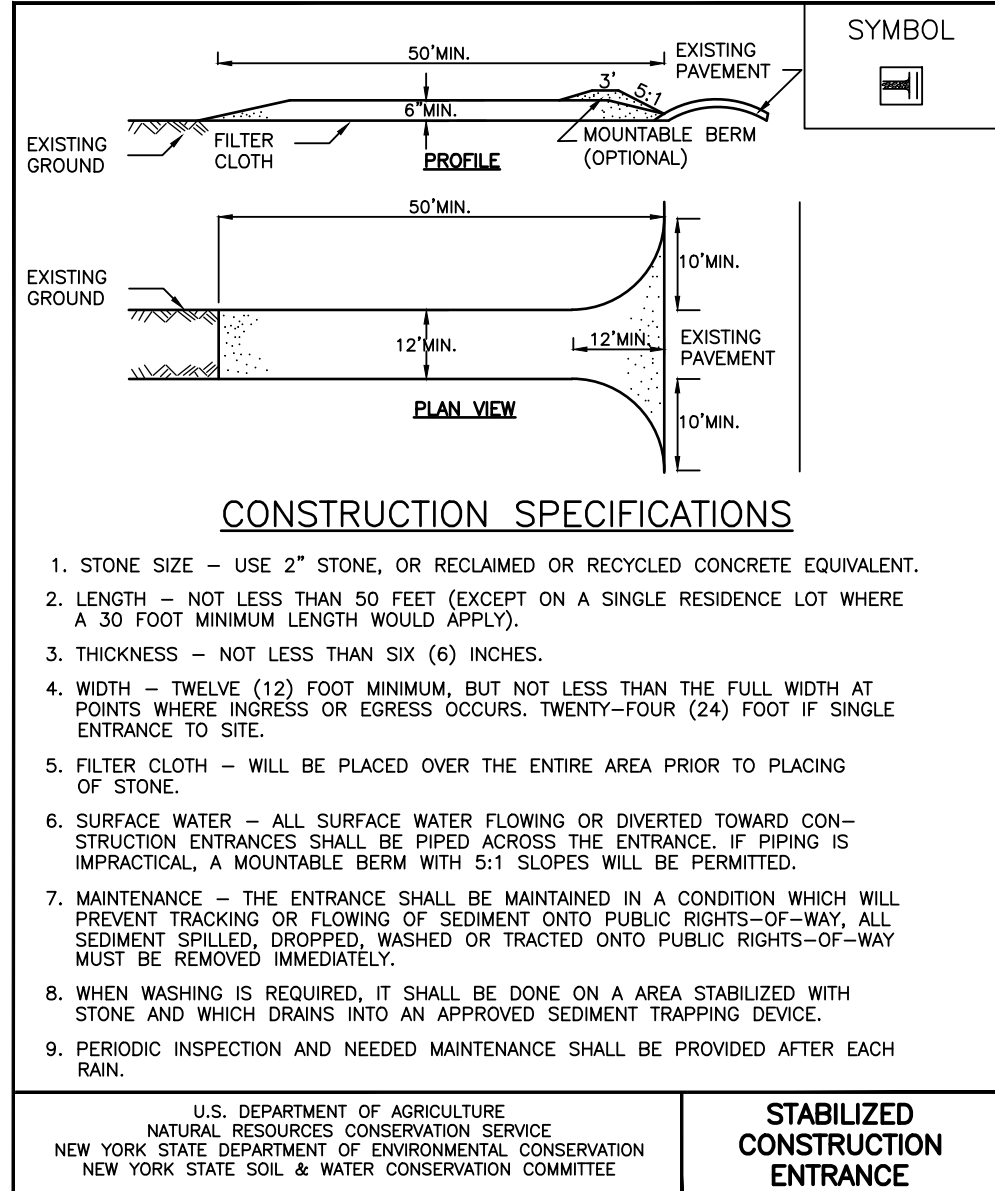
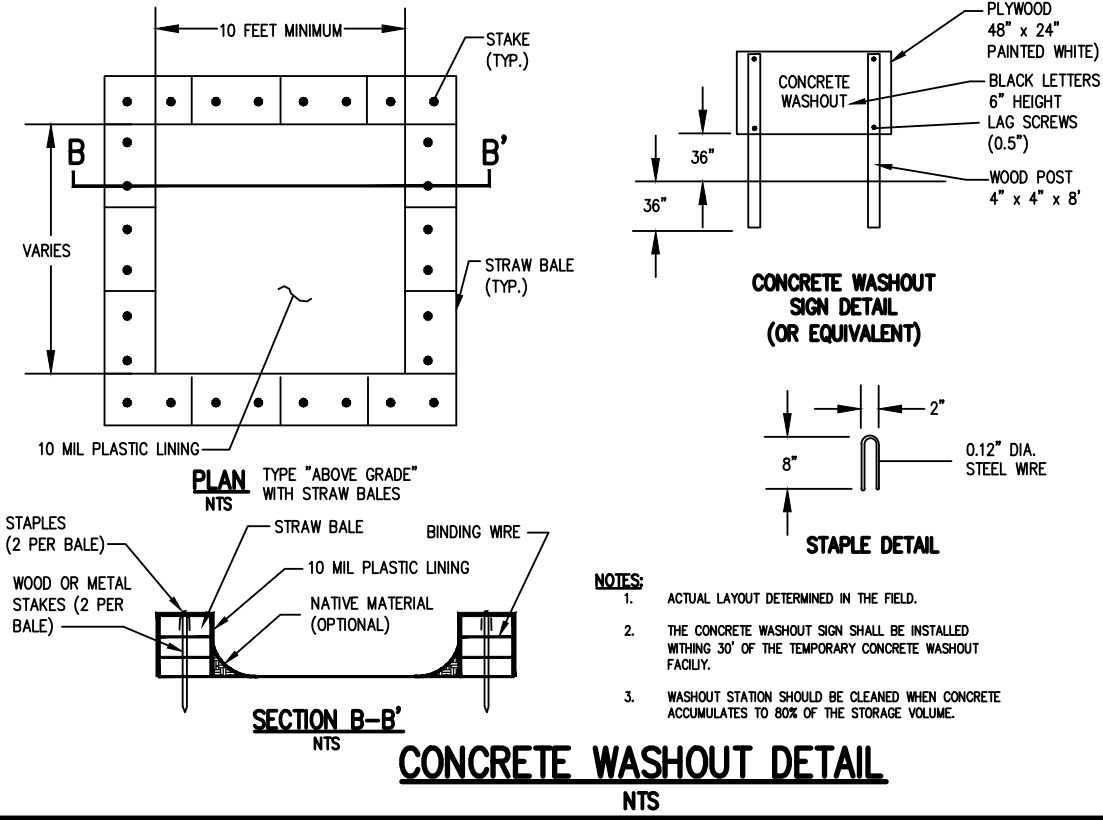
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 FAX: 585-377-7369



ALTA VISTA AT ST. JOSEPH'S PARK
 CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE
 PROJECT LOCATION CLIENT
ALTA VISTA HOUSING LLC
 650 EAST 10TH STREET
 ROCHESTER, NY 14621
 PROJECT MANAGER
J. SWEDROCK
 PROJECT ENGINEER
RR. SPURR
 DRAWN BY
VL. SCHLAGETER
 SCALE DATE ISSUED
 N.T.S. DECEMBER 07, 2021
 PROJECT NO.
2744
 DRAWING NO.
14
 (SHEET 3 of 5)

FINAL DETAIL SHEET

P:\2744 Drawings\Final\2744 Detail B08e.dwg



Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
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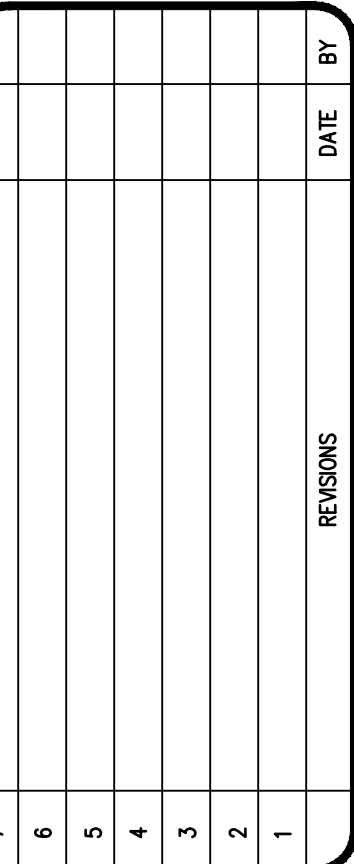
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ALTA VISTA AT ST. JOSEPH'S PARK
CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE
CLIENT
ALTA VISTA HOUSING, LLC
100 EAST HANCOCK STREET
ROCHESTER, NY 14621
FINAL
DETAIL SHEET

PROJECT MANAGER	JL SWEDROCK
PROJECT ENGINEER	RR SPURR
DRAWN BY	VJ SCHLAGETER
SCALE	DATE ISSUED
N.T.S.	DECEMBER 07, 2021
PROJECT NO.	



STATE OF NEW YORK
REBECCA RAE SPURR
101219
LICENSED PROFESSIONAL ENGINEER

PROJECT MANAGER	
J.L. SWEDROCK	
PROJECT ENGINEER	
M.R. SPURR	
DRAWN BY	
W.J. SCHLAGETER	
SCALE	DATE ISSUED
1" = 30'	DECEMBER 07, 2021
PROJECT NO.	

17